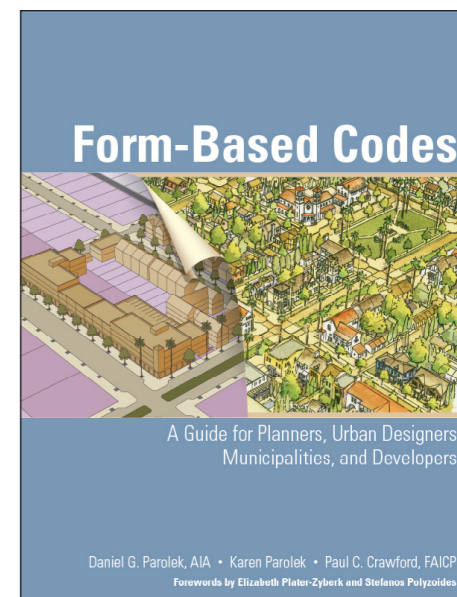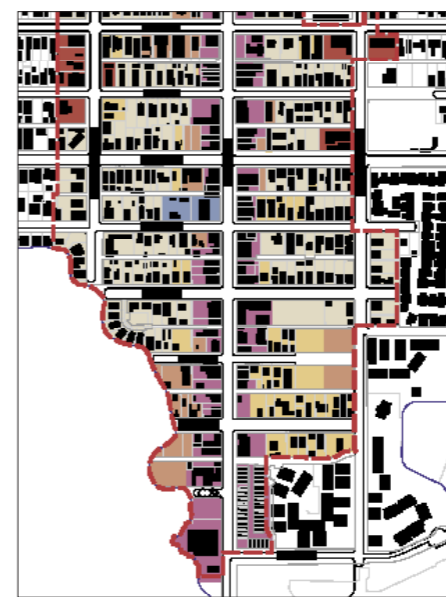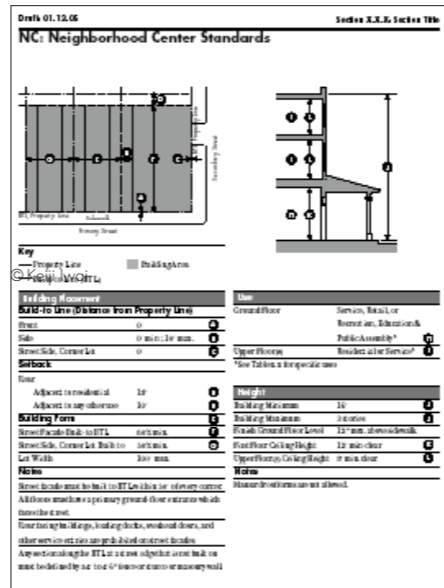# Flagstaff Zoning Code Update: Kick-Off Workshop

May 7, 2009

Opticos Design, Inc.
Lisa Wise Consulting, Inc.
Jacobson & Wack
Sherwood Design Engineers
Hall P&E, Inc.
KDI Photography

Why Are We Here?
creating a code that reinforces flagstaff's unique character

© Keiji Iwai Photography

City of Flagstaff
Zoning Code Update and Form-Based Code | Kick-Off Workshop

Project Objectives:

- Transform code into **innovative, integrated, user-friendly** document
- Reinforce a **sustainable and comprehensive** policy plan
- Reinforce **regional plan vision**
  - Encourage compact land use
  - Preserve natural environment
  - Preserve sense of community & livability
- Promote **context-sensitive infill** (sensitivity to historic fabric)
- Artfully and intelligently **integrate natural and man-made systems**

City of Flagstaff
Zoning Code Update and Form-Based Code | Kick-Off Workshop

Project Objectives (cont'd.):

- **Tailor development** to local and regional climate, ecology, history, & culture
- Provide **housing choices**
- Reinforce **alternative energy sources and energy conservation**
- Reinforce **water conservation**
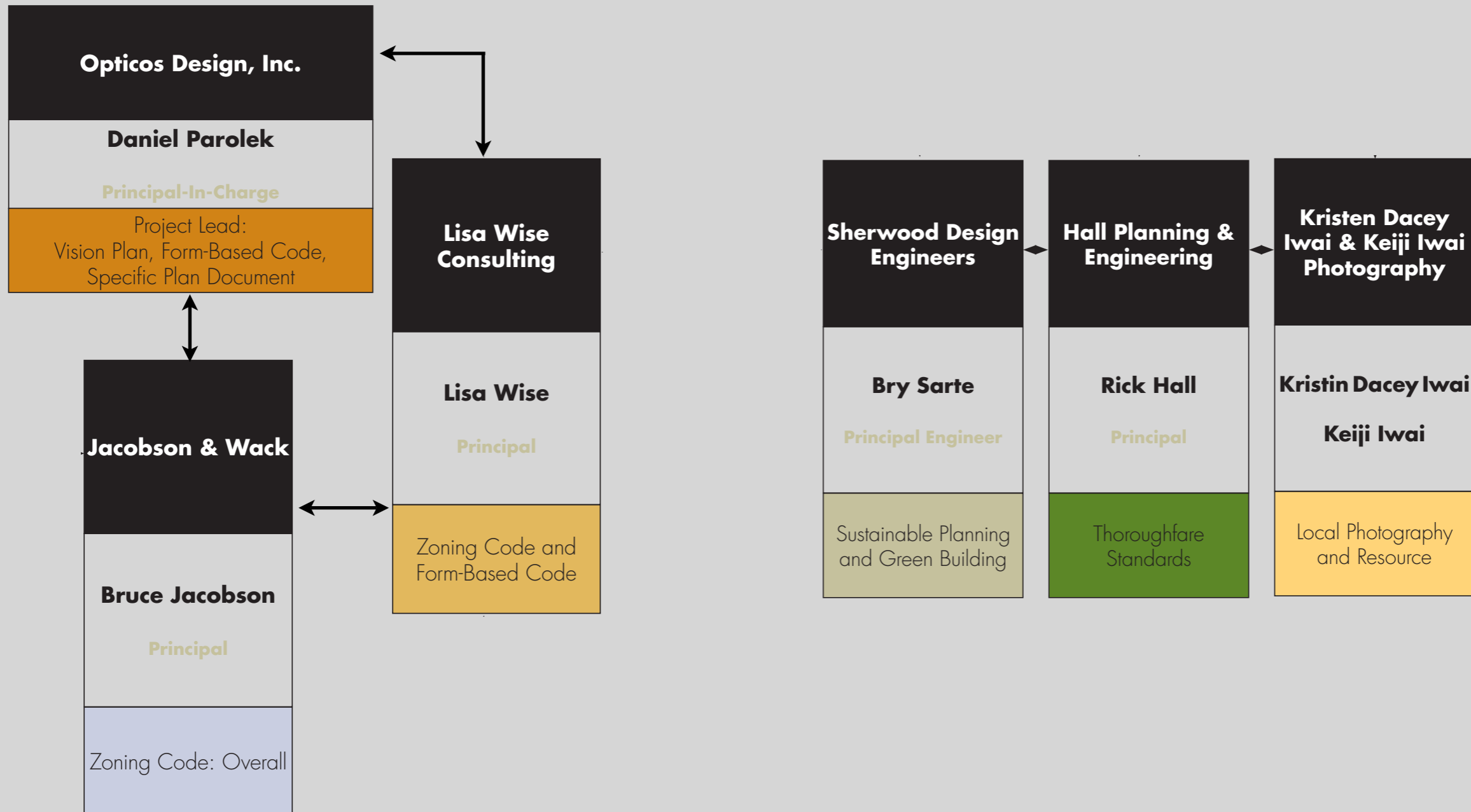- Promote **local and healthy food systems**

Team Overview
expertise in zoning code updates

expertise in form-based coding

© Keiji Iwai Photography

Team Structure

Opticos Design, Inc.

Daniel Parolek

Principal-In-Charge

Project Lead:
Vision Plan, Form-Based Code,
Specific Plan Document

Lisa Wise Consulting

Lisa Wise

Principal

Zoning Code and
Form-Based Code

Jacobson & Wack

Bruce Jacobson

Principal

Zoning Code: Overall

Sherwood Design Engineers

Bry Sarte

Principal Engineer

Sustainable Planning
and Green Building

Hall Planning & Engineering

Rick Hall

Principal

Thoroughfare
Standards

Kristen Dacey Iwai & Keiji Iwai Photography

Kristin Dacey Iwai

Keiji Iwai

Local Photography
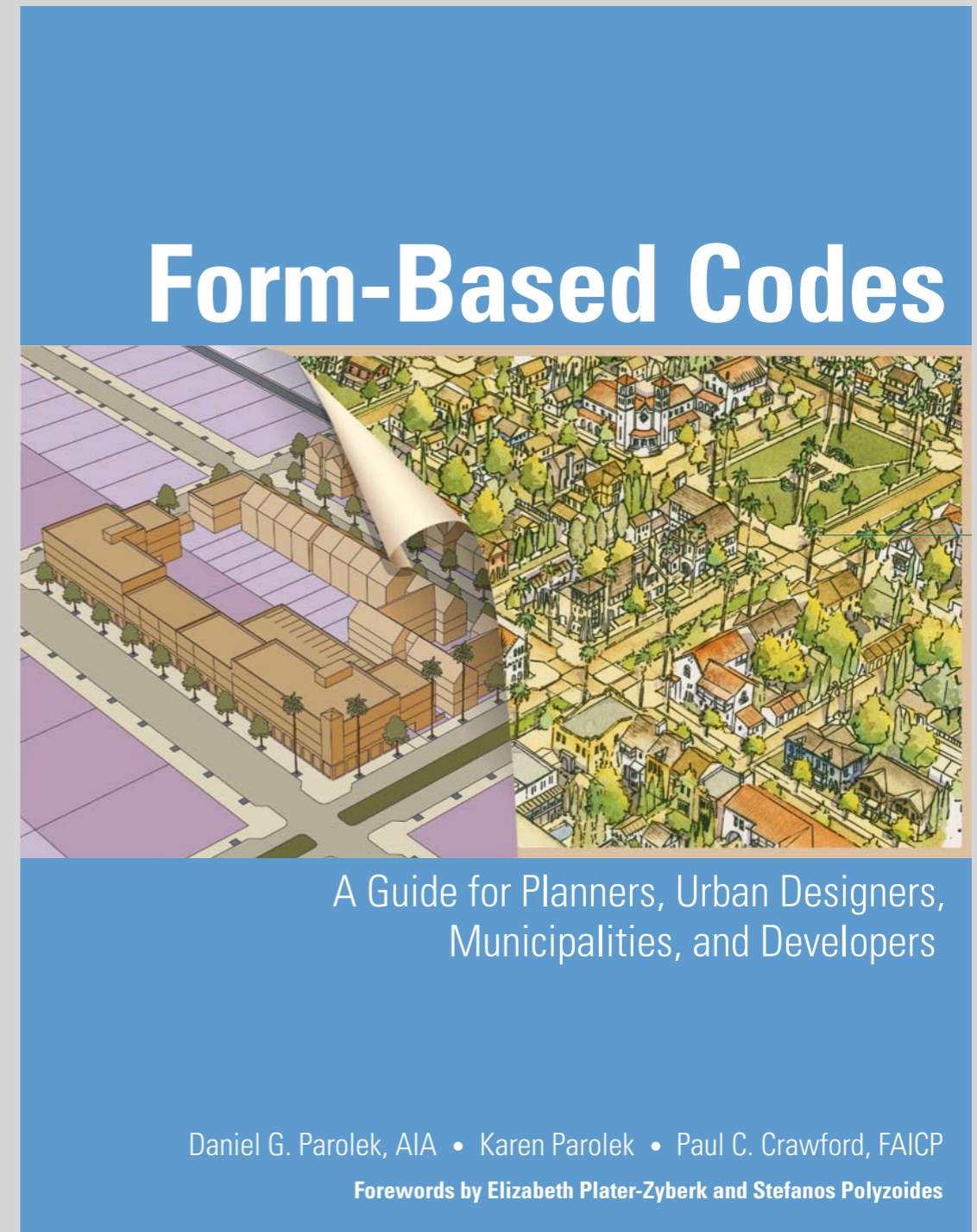and Resource

Opticos: National Leaders in the Field of Coding

- Authors of the first comprehensive book on Form-Based Codes

- Board Members of the Form-Based Codes Institute

- 2008 winners of the Richard Driehaus Form-Based Code Award

- Diverse application of codes from transit-oriented development and TNDs to regional plan application

Form-Based Codes

A Guide for Planners, Urban Designers, Municipalities, and Developers

Daniel G. Parolek, AIA • Karen Parolek • Paul C. Crawford, FAICP

Forewords by Elizabeth Plater-Zyberk and Stefanos Polyzoides

OPTICOS

Opticos: Place-Based Design/Coding

- Every plan, building and code we create is rooted in the history, culture, and climate of a place
- Architecture, urban design, coding

Penland, NC Mixed-Use Artisan Village
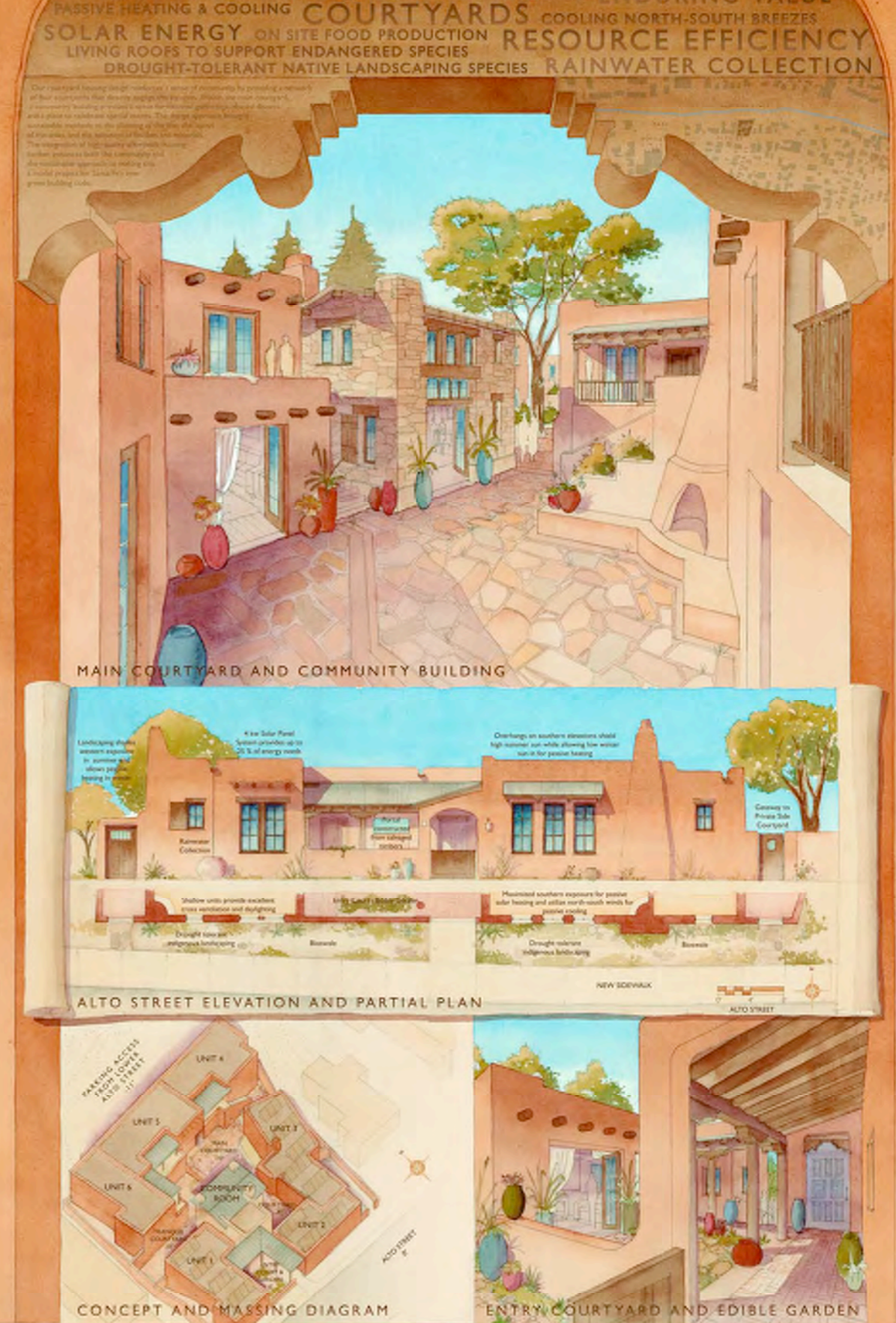

Buena Vista, Colorado Live-Work Unit

Opticos: Social & Environmental Sustainability

- Founding B Corporation: commitment to a triple bottom line
- We practice what we preach
- Local food production

Certified

B

Corporation™

bcorporation.net

Opticos: Sustainability

- LEED ND Pilot Project: Hercules, CA
- Award for affordable, green infill housing in Santa Fe, NM

Opticos Design: Every Project is Important

- Small business - can focus on quality and relationship with client

- Want every project to be a model for others to follow

- Successful implementation is important

Lisa Wise Consulting, Inc.

Our Team

Planners

Economists

Biologists

Anthropologists

LWC

City of Flagstaff

Lisa Wise Consulting, Inc.

Expertise

Urban Planning

Development Codes

Affordable Housing Policy

Economics & Feasibility Studies

Natural Resources

Lisa Wise Consulting, Inc.

Related Code Projects

City of Livermore, CA

City of Grass Valley, CA

City of Benicia, CA

City of Ventura, CA

Marin County, CA

Santa Barbara County, CA

Town of Tiburon, CA

City of King, CA

LWC

City of Flagstaff

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Principal

Thoroughfare
Standards

Kristen Dacey Iwai & Keiji Iwai Photography

Kristin Dacey Iwai

Keiji Iwai

Local Photography
and Resource

Public Engagement

for the successful implementation of a community's vision

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City of Flagstaff
Zoning Code Update and Form-Based Code
Kick-Off Workshop

Public Involvement Approach

- Provide the public with **meaningful opportunities to participate** in the zoning code rewrite

- Provide **on-going information** about the zoning code rewrite (upcoming meetings, opportunities for participation, opportunities to comment on drafts, etc.) starting early in the process and continuing through to final hearings and adoption

Overall Public Involvement (cont'd.)

- Provide **opportunities for community feedback** on the proposed amendments to ensure that they are responsive to community issues and concerns
- Ensure that public comments received on the regional plan update are integrated into the Zoning Code Rewrite as necessary (and vice versa) so that **all community perspectives are heard and addressed**

Opticos Outreach:

5 Main Elements

1. Kick-off workshop: May
2. Stakeholder interviews: May
3. Present analysis: Mid-July
4. 4-day visioning charrette for focus areas: September/October
5. Two meetings to discuss code drafts: November & January - tentative
6. On ground starting in Sept for 6 weeks

A Place-Based Approach to Regulating Development

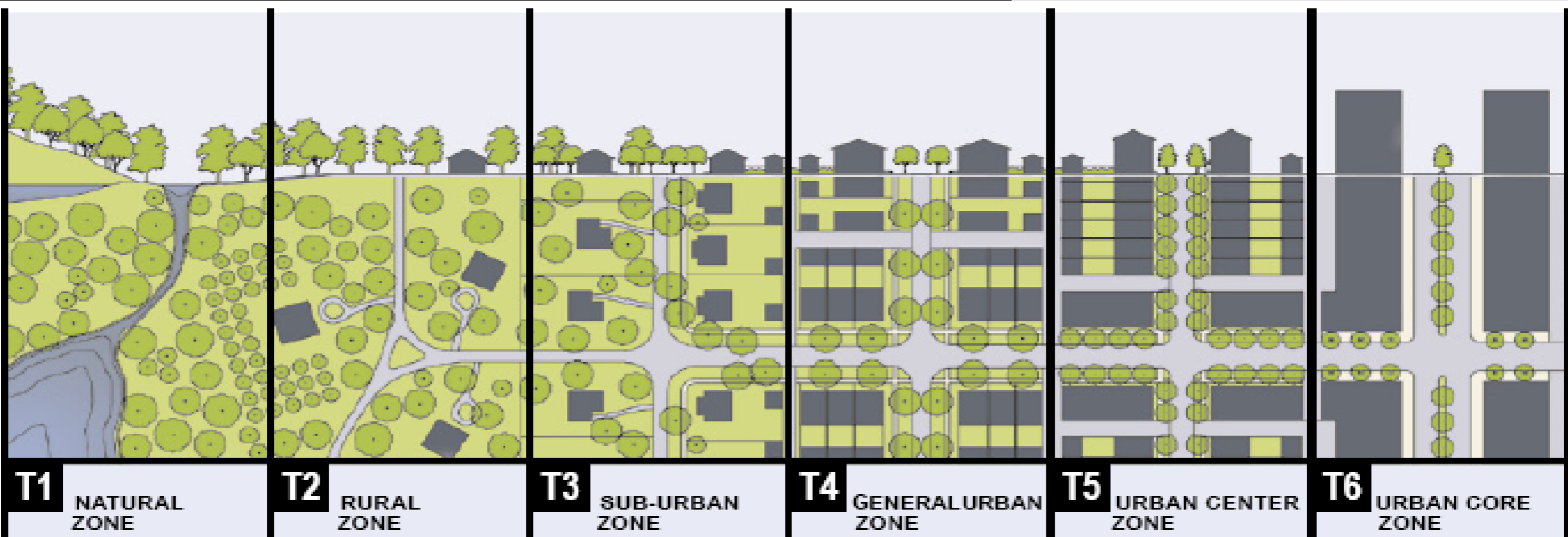## preserving the unique character of flagstaff with form-based codes

© Keiji Iwai

City of Flagstaff
Zoning Code Update and Form-Based Code | Kick-Off Workshop
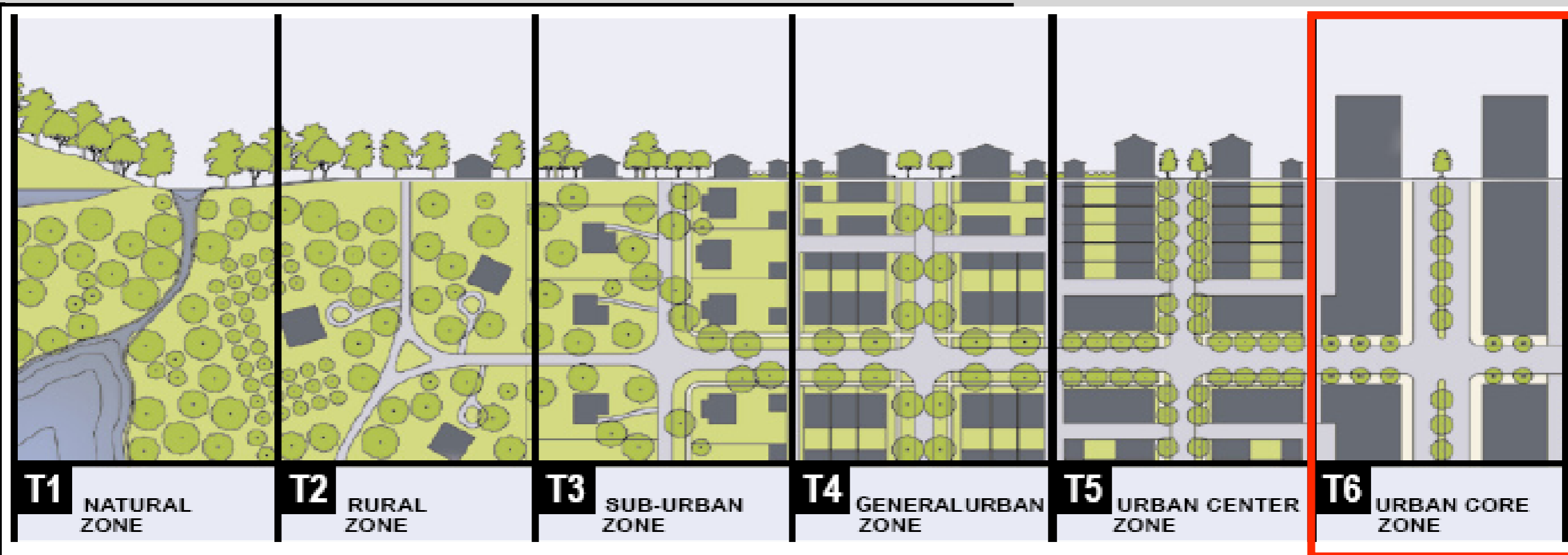
What is a Form-Based Code?

"Form-based codes foster predictable built results and a high-quality public realm by using physical form (rather than separation of uses) as the organizing principle for the code. They are regulations, not mere guidelines. They are adopted into city or county law. Form-based codes are an alternative to conventional zoning."
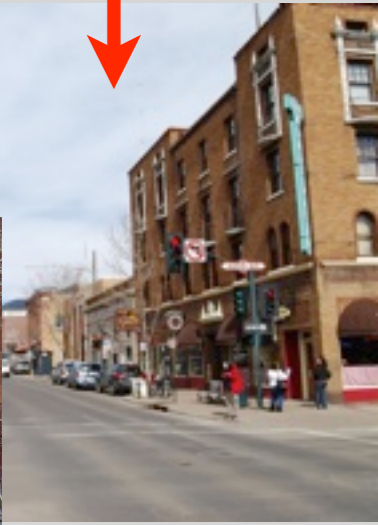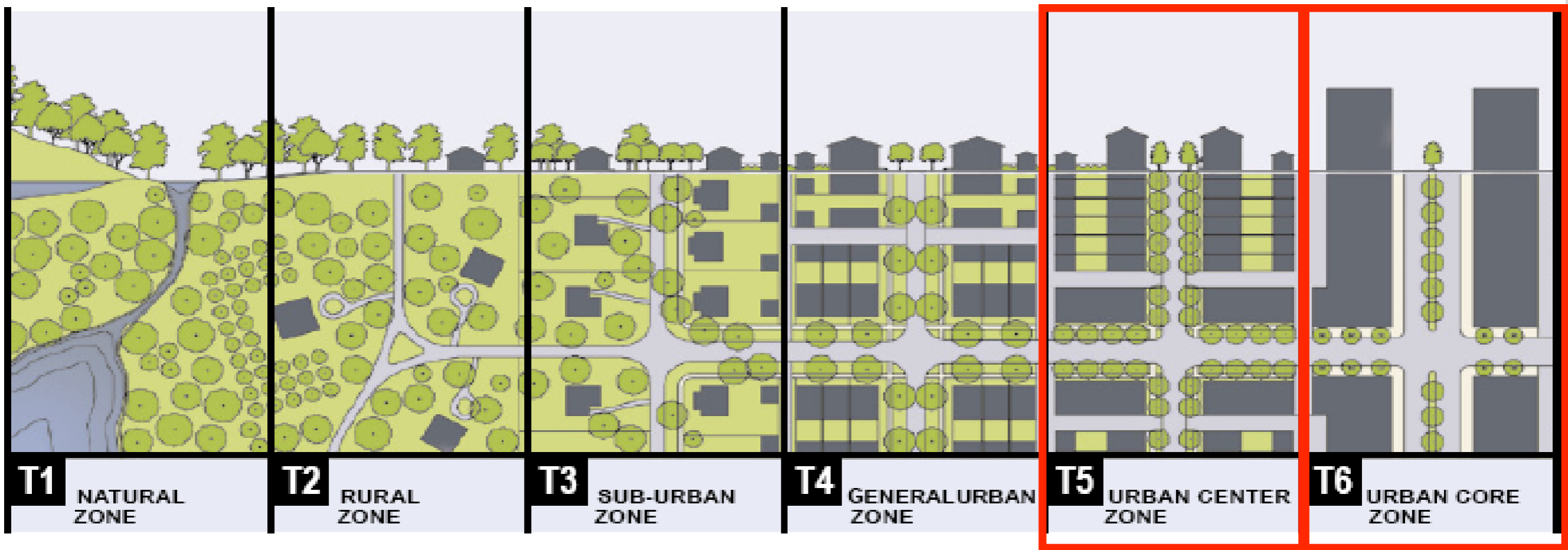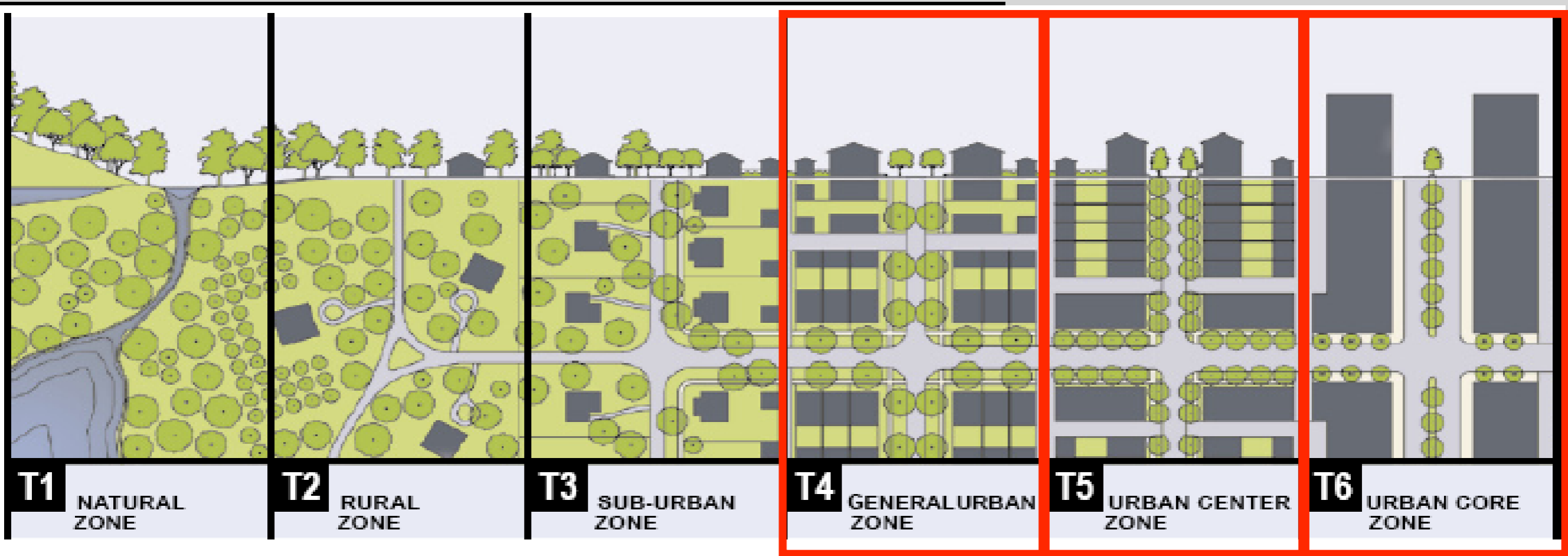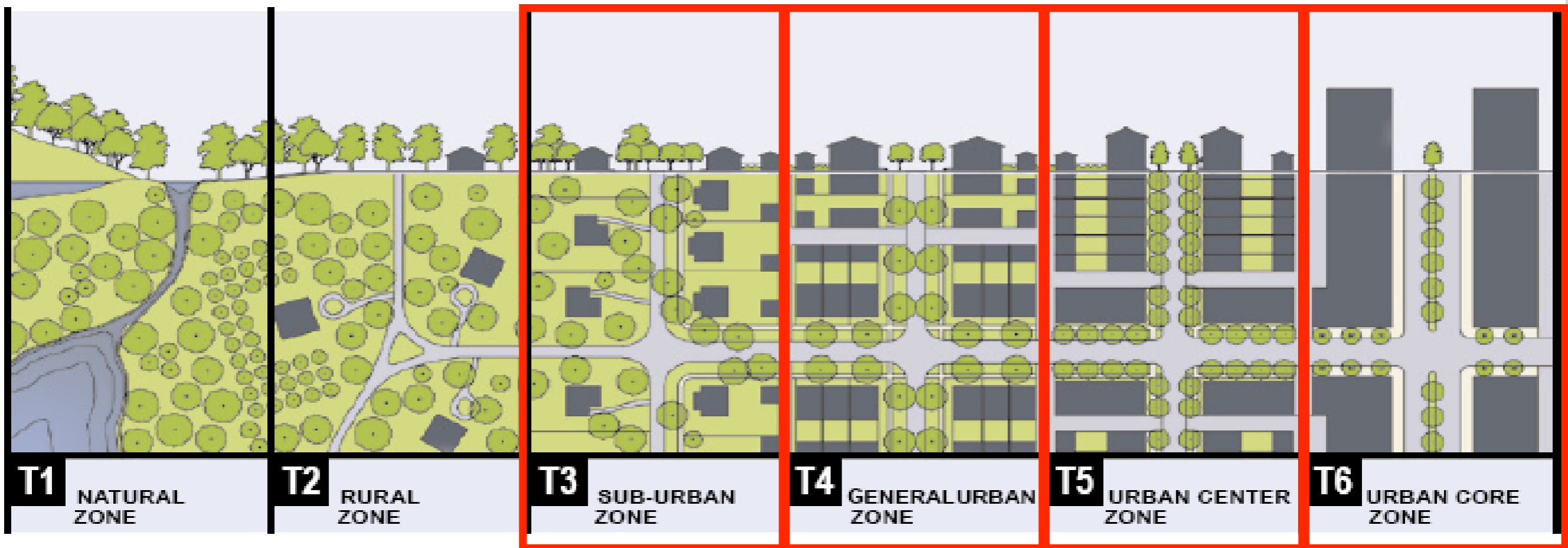
Form-Based Code Institute

I. TRANSECT ZONES

T1 NATURAL ZONE   **T2** RURAL ZONE   **T3** SUB-URBAN ZONE   **T4** GENERAL URBAN ZONE   **T5** URBAN CENTER ZONE   **T6** URBAN CORE ZONE

I. TRANSECT ZONES

T1 NATURAL ZONE

T2 RURAL ZONE

T3 SUB-URBAN ZONE

T4 GENERAL URBAN ZONE

T5 URBAN CENTER ZONE

T6 URBAN CORE ZONE

I. TRANSECT ZONES

T1	T2	T3	T4	T5	T6
NATURAL ZONE	RURAL ZONE	SUB-URBAN ZONE	GENERAL URBAN ZONE	URBAN CENTER ZONE	URBAN CORE ZONE

I. TRANSECT ZONES

| T1 NATURAL ZONE | T2 RURAL ZONE | T3 SUB-URBAN ZONE | T4 GENERAL URBAN ZONE | T5 URBAN CENTER ZONE | T6 URBAN CORE ZONE |

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Integrate Form-Based Zones: Place-Based Planning

T1	T2	T3	T4	T5	T6	DA
Rural Preserve Areas	Rural Reserve Areas	Neighborhood Edge Areas	Neighborhood General Areas	Neighborhood Centers	Urban Core: Downtown Grass Valley	Special District Areas: Residential Subdivisions

Two Completely Different Types of Zones to Consider

Form-Based Zones/ Transect
Low-carbon zones

↓

Lower parking requirements
(More walking, access to transit)

Public realm = Public space

Blended density (variety of types)

Mixed use environments

Uses more flexible based on
operational characteristics

Special Districts/Auto Dependent
High-carbon zones

↓

Higher parking requirements
(less walking and access to transit)

Larger public and private open space
required due to isolation

"Podded" densities and uses

Specific Uses allowed

How Does this Apply on the Ground?

These retail examples function and perform differently

Auto-Dependent

Walkable Urbanism

City of Flagstaff
Zoning Code Update and Form-Based Code | Kick-Off Workshop

Why use-based approach does not work

Restaurant **Single Family Home** **Retail**

Auto Dependent

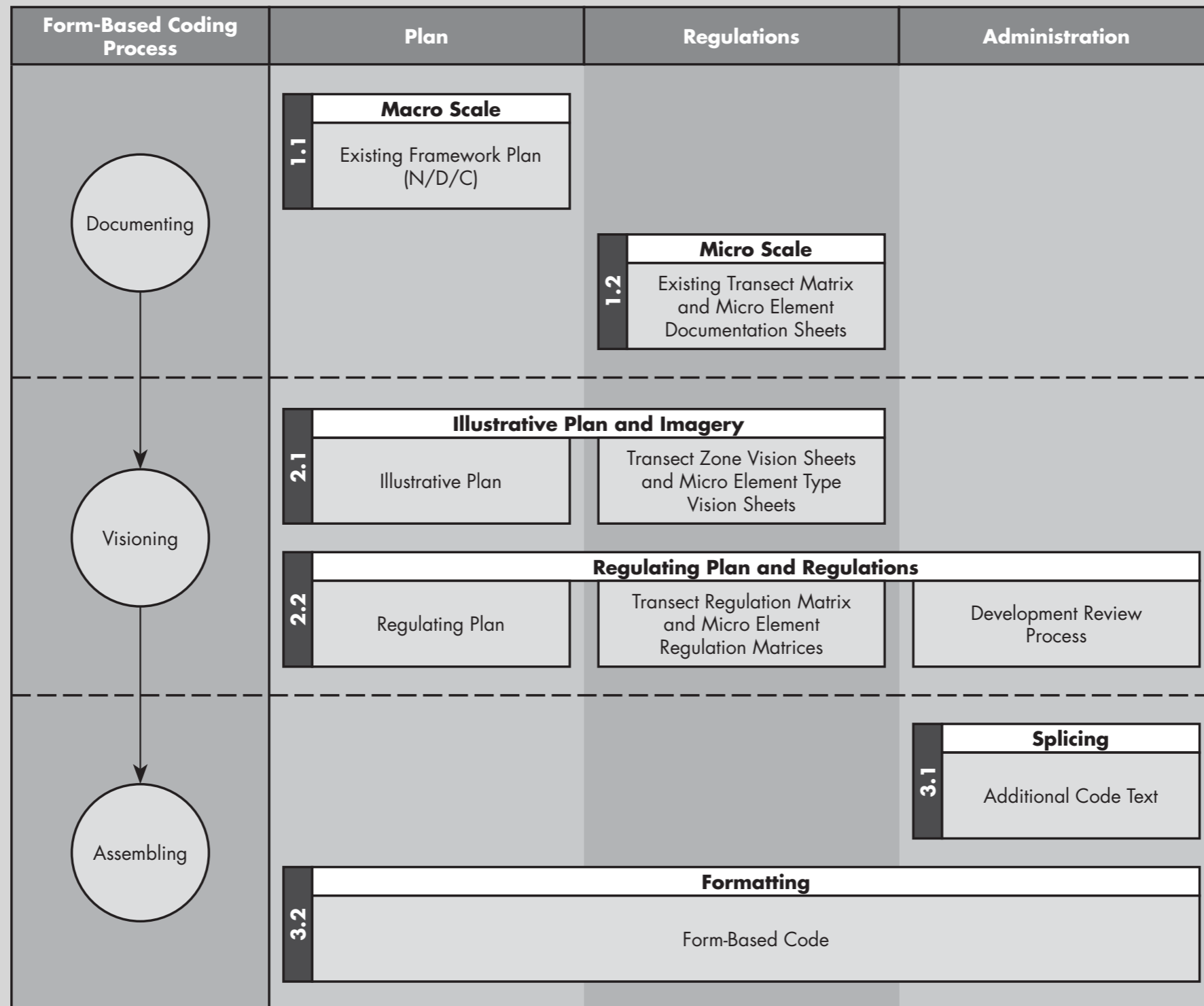**Walkable Urbanism**

Process for Creating a Form-Based Code

building upon the unique character of flagstaff

City of Flagstaff | Kick-Off Workshop
Zoning Code Update and Form-Based Code

Process

Form-Based Coding Process	Plan	Regulations	Administration

Documenting

1.1 — **Macro Scale**
Existing Framework Plan (N/D/C)

1.2 — **Micro Scale**
Existing Transect Matrix and Micro Element Documentation Sheets

Visioning

2.1 — **Illustrative Plan and Imagery**
Illustrative Plan | Transect Zone Vision Sheets and Micro Element Type Vision Sheets

2.2 — **Regulating Plan and Regulations**
Regulating Plan | Transect Regulation Matrix and Micro Element Regulation Matrices | Development Review Process

Assembling

3.1 — **Splicing**
Additional Code Text

3.2 — **Formatting**
Form-Based Code

Phase I: Documenting the Place
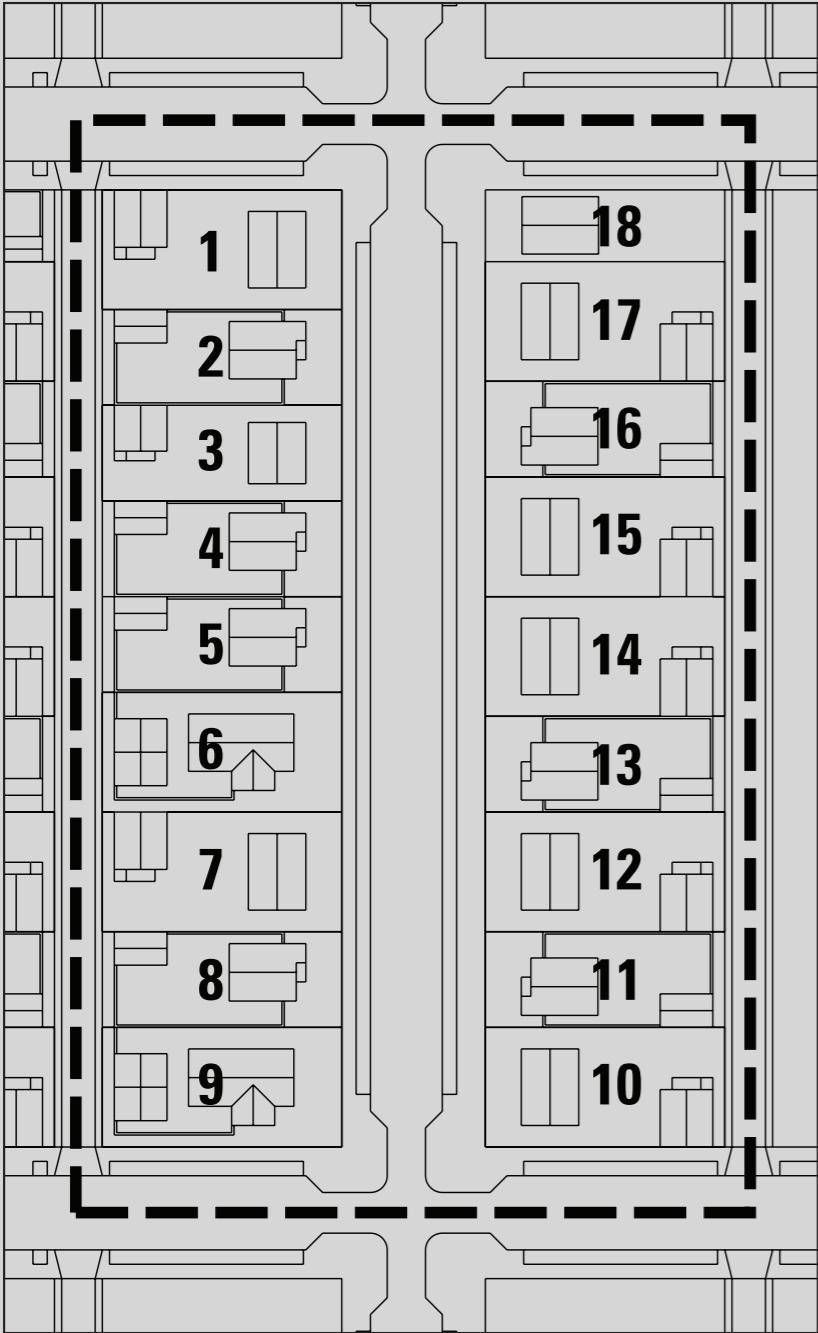
Micro-Scale Analysis

1
2
3
4
5
6
7
8
9

Macro-Scale Analysis

Process

		T3		T4		T5	
		Typical Mid-block	Typical Corner	Typical Mid-block	Typical Corner	Typical Mid-block	Typical Corner
City							
Width of Largest Historic Building				120' Apartment Bldg			
Block							
Perimeter Length		1530'		1600'		1600'	
Length (Primary Street)		525'		400'		400'	
Depth (Secondary Street)		240'		400'		400'	
Shape		R		R		R	
On-street parking spaces within 1/4-mile radius		250		200		200	
Length of Building at Front BTL from Corner							
Left End of Block					80'		100'
Right End of Block					100'		100'
Building Placement							
Lot Size							
Width		45' – 50'	50' – 60'	25'	30'	75' – 125'	75' – 125'
Depth		110'	110'	100'	100'	100' – 150'	100' – 150'
Square Footage		5,500	6,600	2,500	3,000	12,500	12,500 sf
Distance From		P	P	P	P	P	P
Location of lot		M	C	M	C	M	C
If it is a corner lot, where does the building face?		—	P	—	P	—	P
Front (Main Body of Building)		15' – 20'	15' – 20'	5'	5'	0'	0'
Side Street (Main Body of Building)		—	15' – 20'	—	5'	—	0'
Left Side, Main Building		8'	8' – 10'	0'	0'	0'	0'
Right Side, Main Building							
Left Side, Ancillary Building		0' – 60'	0'	0'	0'	—	—
Right Side, Ancillary Building							
Rear, Main Building		40'	40'	40'	40'	—	—
Adjacent Use/Transect Level		T4	T4	t4 & T5	T4 & T5	—	—
Rear, Ancillary Building		6' – 8'	6' – 8'	6'	6'	—	—
Length of Building at Façade Line (BTL)							
Front		60% – 100%	50% – 80%	100%	100%	90% – 100%	90% – 100%
Side Street, Main Building		—	30% – 35%	—	70%	—	90% – 100%
Side Street, Ancillary Building		—	100%	—	70%	—	—
Width of Building/Lot Width (%)							
Front		35% – 55%	35% – 50%	100%	80% – 100%	80% – 100%	80% – 100%
Side Street		60%	60%	—	70%	—	80% – 100%
Miscellaneous							
Number of Buildings on Lot		2	2	2	2	1	1
Number of Main Buildings		1	1	1	1	1	1
Number of Ancillary Buildings		1	1	1	1	0	0
Distance between Main and Ancillary Buildings		25' – 30'	25' – 30'	20' – 30'	20' – 30'	—	—
Sidewalk Edge Treatment where there is not a Building		3' fence	3' fence	3' fence	3' fence	6' street wall	6' street wall
Treatment between Building and Sidewalk (if any)		lawn	lawn	hardscape	hardscape	—	—

Plan	Regulations	Administration
Macro Scale		
1.1 Existing Framework Plan (N/D/C)		
	Micro Scale	
	1.2 Existing Transect Matrix and Micro Element Documentation Sheets	

Get Staff Involved

Process

Plan	Regulations	Administration
Illustrative Plan and Imagery		
2.1 Illustrative Plan	Transect Zone Vision Sheets and Micro Element Type Vision Sheets	
Regulating Plan and Regulations		
2.2 Regulating Plan	Transect Regulation Matrix and Micro Element Regulation Matrices	Development Review Process

Process

8.5" x 11"
vertical

11" x 17"
horizontal

1/2" top margin

2/3" outside margin

1/2" inside margin

1" bottom margin

Left Justified

For lots 70' wide or wider, the courtyard must be enclosed by the building on at least three sides. Otherwise, the building courtyard must be enclosed by the building on at least two sides.

Center Justified

For lots 70' wide or wider, the courtyard must be enclosed by the building on at least three sides. Otherwise, the building courtyard must be enclosed by the building on at least two sides.

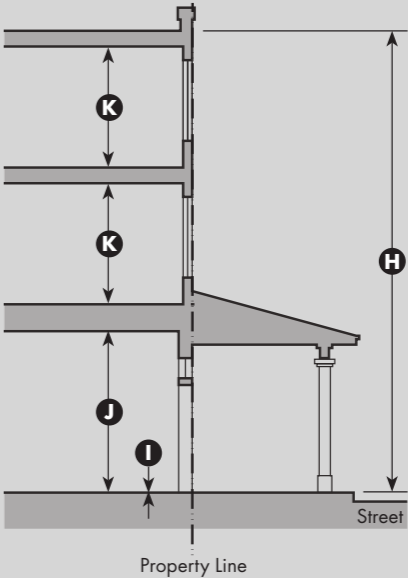## Fully Justified

For lots 70' wide or wider, the courtyard must be enclosed by the building on at least three sides. Otherwise, the building courtyard must be enclosed by the building on at least two sides.

Plan	Regulations	Administration

3.1

Splicing

Additional Code Text

3.2

Formatting

Form-Based Code

Property Line

Street

Building Form		
Height		
Main Building	22' min.;	**H**
	3 Stories max.	**H**
Ancillary Building	2 Stories max.	
Ground Floor Finish Level	6" max. above sidewalk	**I**
Ground Floor Ceiling	12' min. clear	**J**
Upper Floor(s) Ceiling	8' min. clear	**K**

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Elements of a Form-Based Code
for the successful implementation of a community's vision

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Regulating Places, Not Uses

Zoning Districts

- Town Core
- Town Core-Open
- Neighborhood General
- Neighborhood General - Open
- Public & Semi-Public
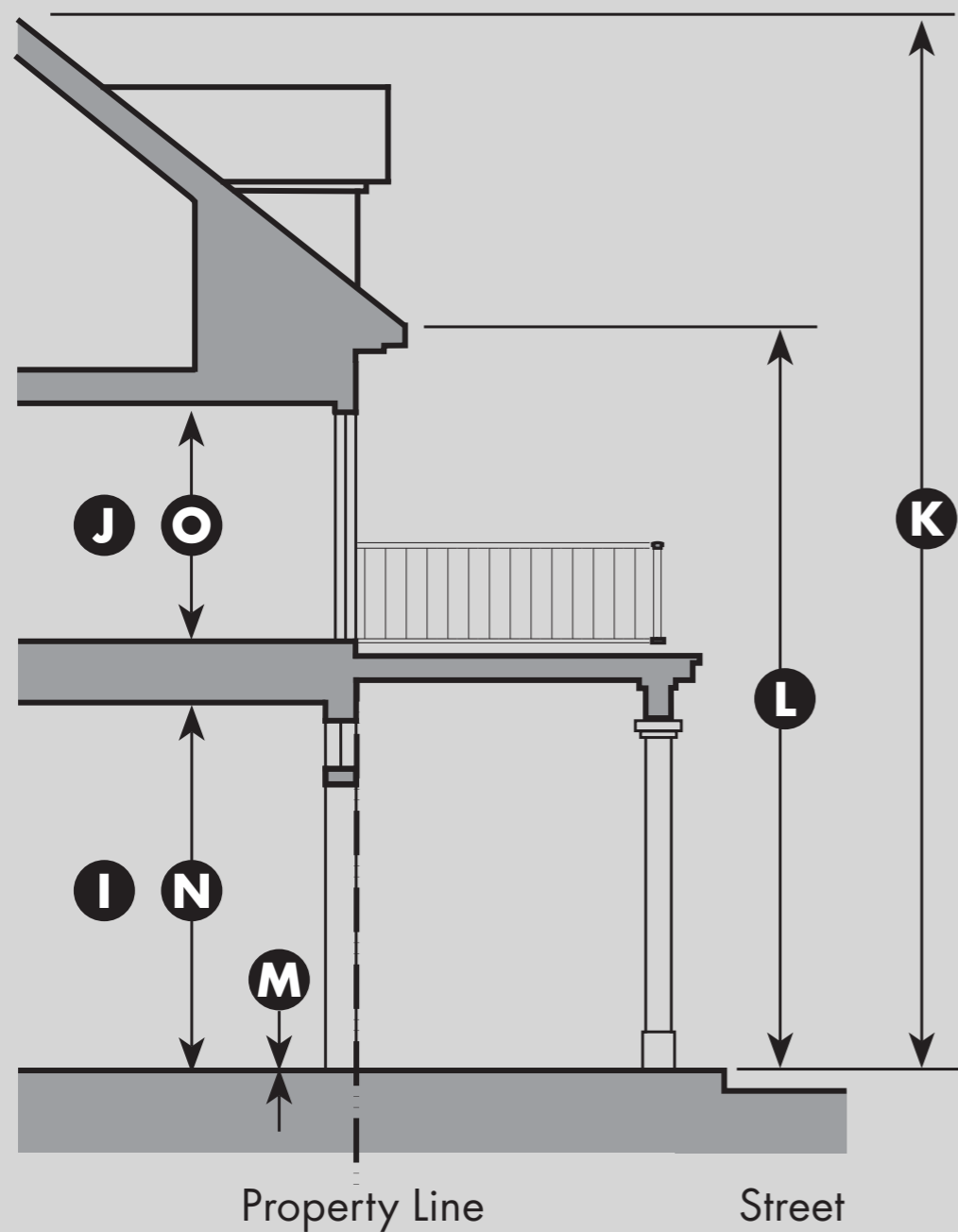
Benicia Downtown Mixed-Use Master Plan (Opticos Design and Crawford, Multari & Clark)

# Building Form Standards

Graphic and Easy to Understand

1" = 15'-0"

Property Line   Street

Use

Ground Floor	Service, Retail, or Recreation, Education & Public Assembly* **I**
Upper Floor(s)	Residential or Service* **J**

*See Table 4.1 for specific uses. Ground floors that face the waterfront shall be nonresidential and shall not include parking, garages, or similar uses.

Height

Building Min.	22'	**K**
Building Max.	2.5 stories and 40'	**K**
Max. to Eave/Top of Parapet	35'	**L**
Ancillary Building Max.	2 stories and 25'	
Finish Ground Floor Level	6" max. above sidewalk	**M**
First Floor Ceiling Height	12' min. clear	**N**
Upper Floor(s) Ceiling Height	8' min. clear.	**O**

Building Form Standards: 4-Page Template

17.21.050 - Neighborhood Center (NC) Standards
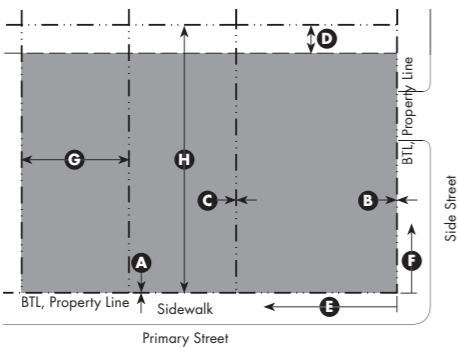
Key

- Property Line
- Build-to Line (BTL)
- Setback Line
- Building Area

Building Placement

Build-to Line (Distance from Property Line)

Front	0′	Ⓐ
Side Street, corner lot	0′	Ⓑ

Setback

Side	0′	Ⓒ
Rear		
Adjacent to residential	10′	Ⓓ
Adjacent to any other use	5′	Ⓓ

Building Form

Primary Street built to BTL	80% min.*	Ⓔ
Side Street, Corner Lot built to BTL	30% min.*	Ⓕ
Lot Width	75′ max.	Ⓖ
Lot Depth	150′ max.	Ⓗ

* Street facades must be built to BTL within 30′ of every corner.

Notes

All floors must have a primary ground-floor entrance which faces the street.

Rear facing buildings, loading docks, overhead doors, and other service entries are prohibited on street facades.

Use

Ground Floor	Service, Retail, or Recreation, Education & Public Assembly*	Ⓘ
Upper Floor(s)	Residential or Service*	Ⓙ

*See Table 2.2 for specific uses.

Height

|		
Building Minimum	16′	Ⓚ
Building Maximum	3 stories*	Ⓚ
Finish Ground Floor Level	12″ max. above sidewalk	Ⓛ
First Floor Ceiling Height	12′ min. clear	Ⓜ
Upper Floor(s) Ceiling Height	8′ min. clear	Ⓝ

*4 stories for approved affordable and/or senior housing

Notes

Mansard roof forms are not allowed.

Buildings greater than 16 units must provide adequate common space for residents in the form of community rooms, roof terraces, or courtyards.

Any section along the BTL not defined by a building must be defined by a 4′ to 6′ high fence or stucco or masonry wall.

Key

- Property Line
- Parking Area

Key
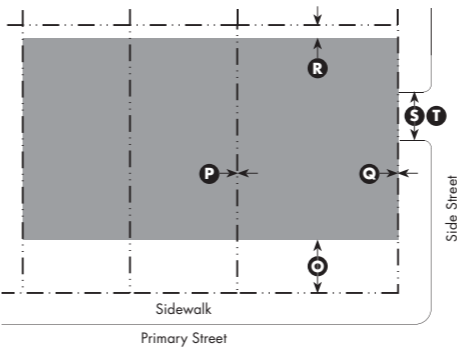
- Property Line
- Build-to Line (BTL)
- Setback Line
- Encroachment Area

Parking

Location (Distance from Property Line)

Front Setback	20′	Ⓞ
Side Setback	0′	Ⓟ
Side Street Setback	5′	Ⓠ
Rear Setback	5′	Ⓡ

Required Spaces

|	
Ground Floor	
Uses < 3,000 sf	No off-street parking required
Uses > 3,000 sf	1 space/500 sf
Upper Floor(s)	
Residential uses	1 space/unit; .5 space/studio
Other uses	1 space/300 sf

Notes

Parking Drive Width	15′ max.	Ⓢ
On corner lots, parking drive shall not be located on primary street.		Ⓣ

Shared drives are encouraged between adjacent lots to minimize curb cuts along the street.

Parking may be provided off-site within 1,300′ or as shared parking.

Bicycle parking must be provided and in a secure environment.

See Chapter 17.36 for further parking specifications.
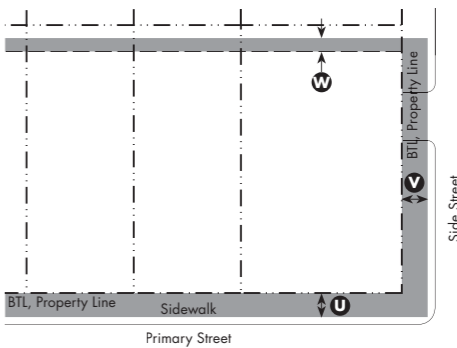
Encroachments

Location

Front	12′ max.	Ⓤ
Side Street	8′ max.	Ⓥ
Rear	4′ max.	Ⓦ

Notes

Canopies, Awnings, and Balconies may encroach over the BTL on the street sides and into the setback on the rear, as shown in the shaded areas. Only Balconies are allowed at the rear encroachment.

Upper story galleries facing the street must not be used to meet primary circulation requirements.

Frontage Types

Canopies	
Clearance	1′ min. back from curb line
Height	9′ min. clear, 2 stories max.
Awnings	
Depth	10′ max.
Forecourts	
Depth	20′ min., not to exceed width
Width	20′ min., 50% of lot width max.

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Zoning Code Update and Form-Based Code

Building Form Standards: 4-Page Template

Table 2.2: Neighborhood Center (NC) Zone Allowed Land Uses and Permit Requirements

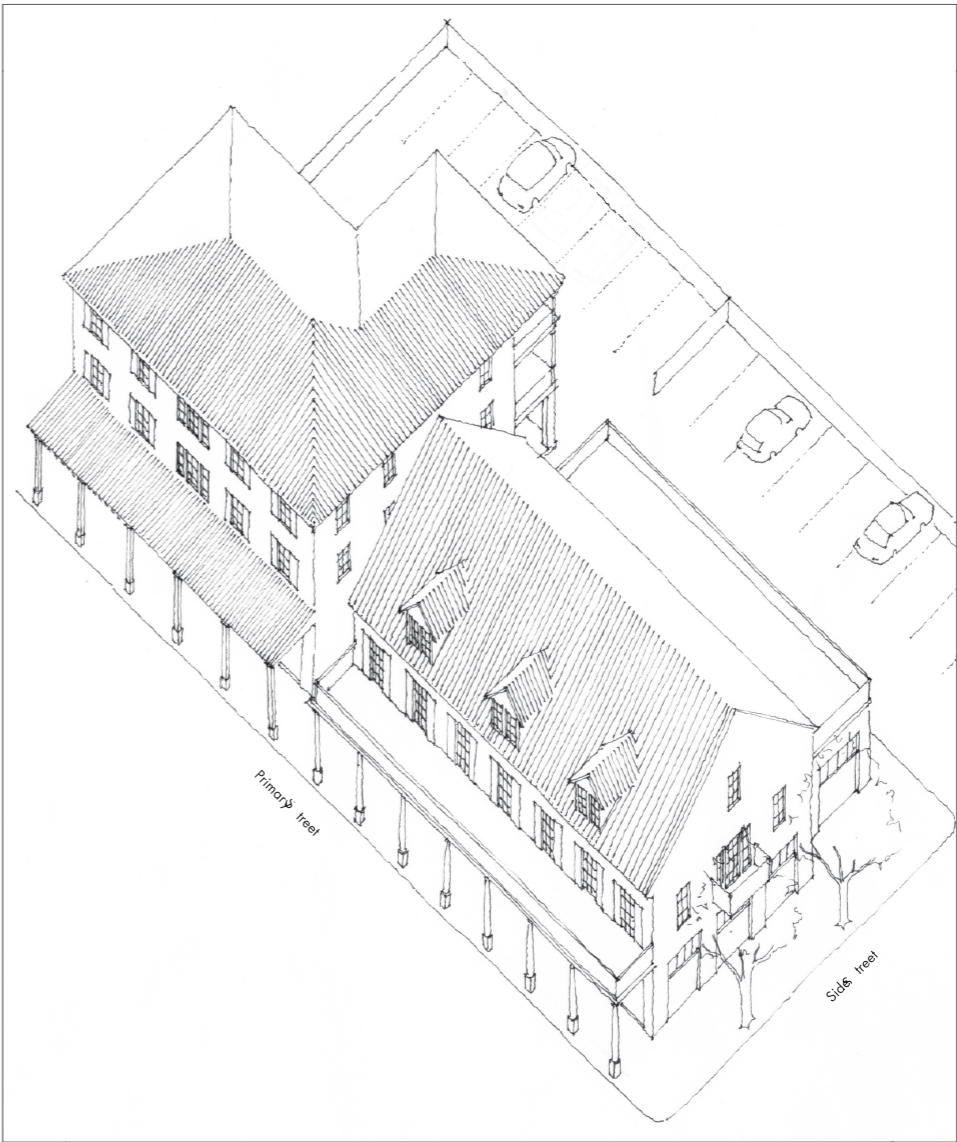| Land Use Type[1]	Permit Required	Specific Use Regulations
Recreation, Education & Public Assembly		
Commercial recreation facility: Indoor	MUP	
Health/fitness facility	MUP	
Library, museum	P	
Meeting facility, public or private	UP	
Park, playground	P	
School, public or private	UP[2]	
Studio: Art, dance, martial arts, music, etc.	P	
Residential		
Home Occupation	P[2]	17.44.100
Mixed use project residential component	P[2]	17.44.140
Residential accessory use or structure	P[2]	17.44.020
Residential care, 7 or more clients	UP	
Second unit or carriage house	P	17.44.190

Land Use Type[1]	Permit Required	Specific Use Regulations
Retail		
Bar, tavern, night club	UP	
General retail, except with any of the following features:	P	
Alcoholic beverage sales	MUP	
Floor area over 10,000 sf	UP	
On-site production of items sold	MUP	
Operating between 9pm and 7am	UP	
Neighborhood market	MUP	
Restaurant, café, coffee shop	MUP	
Services: Business, Financial, Professional		
ATM	P	
Bank, financial services	P	
Business support service	P	
Medical services: Clinic, urgent care	MUP	
Medical services: Doctor office	P	
Medical services: Extended care	UP	
Office: Business, service	P	
Office: Professional, administrative	P	
Services: General		
Day care center: Child or adult	MUP	17.44.060 17.44.110
Day care center: Large family	P	17.44.060
Day care center: Small family	P	
Lodging: Bed & breakfast inn (B&B)	MUP	
Public safety facility	UP	
Personal services	P	
Transportation, Communications, Infrastructure		
Parking facility, public or commercial	UP	
Wireless telecommunications facility	UP	17.46

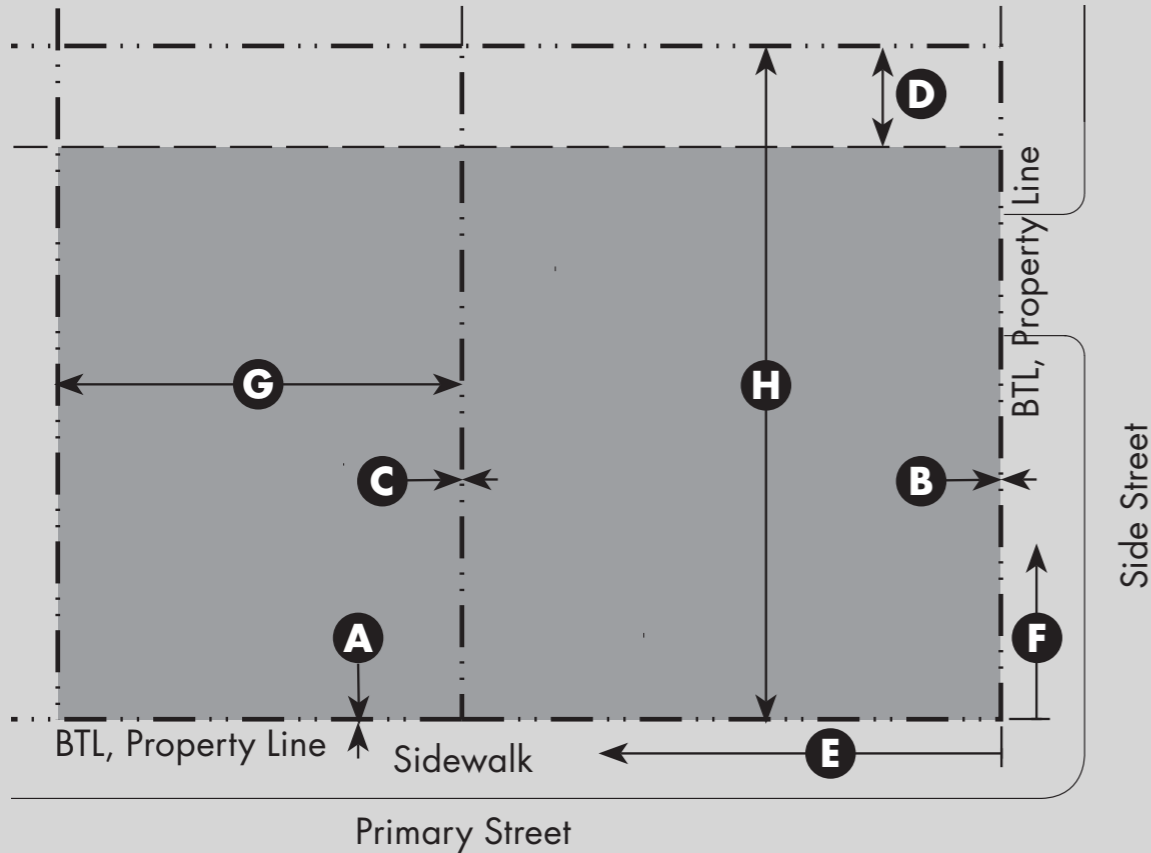| Key	
P	Permitted Use
MUP	Minor Use Permit Required
UP	Use Permit Required
NA	Use Not Allowed

End Notes

[1] A definition of each listed use type is in Article 10 (Glossary).

[2] Allowed only on second or upper floors, or behind ground floor use.

Examples of buildings in a Neighborhood Center area.

City of Flagstaff | Kick-Off Workshop
Zoning Code Update and Form-Based Code

Prescriptive & easy to use

Key
- —·— Property Line
- —·— Build-to Line (BTL)
- — — Setback Line
- ▨ Building Area

Building Placement		
Build-to Line (Distance from Property Line)		
Front	0′	Ⓐ
Side Street	0′	Ⓑ
Setback (Distance from Property Line)		
Side	0′	Ⓒ
Rear		
Adjacent to NG Zone	8′	Ⓓ
Adjacent to any other Zone	5′	Ⓓ
Building Form		
Primary Street Façade built to BTL	80% min.*	Ⓔ
Side Street Façade built to BTL	30% min.*	Ⓕ
Lot Width	125′ max.	Ⓖ
Lot Depth	100′ max.	Ⓗ

*Street façades must be built to BTL along first 30′ from every corner.

1" = 15'-0"

Public Space Standards: Thoroughfares and Civic Spaces

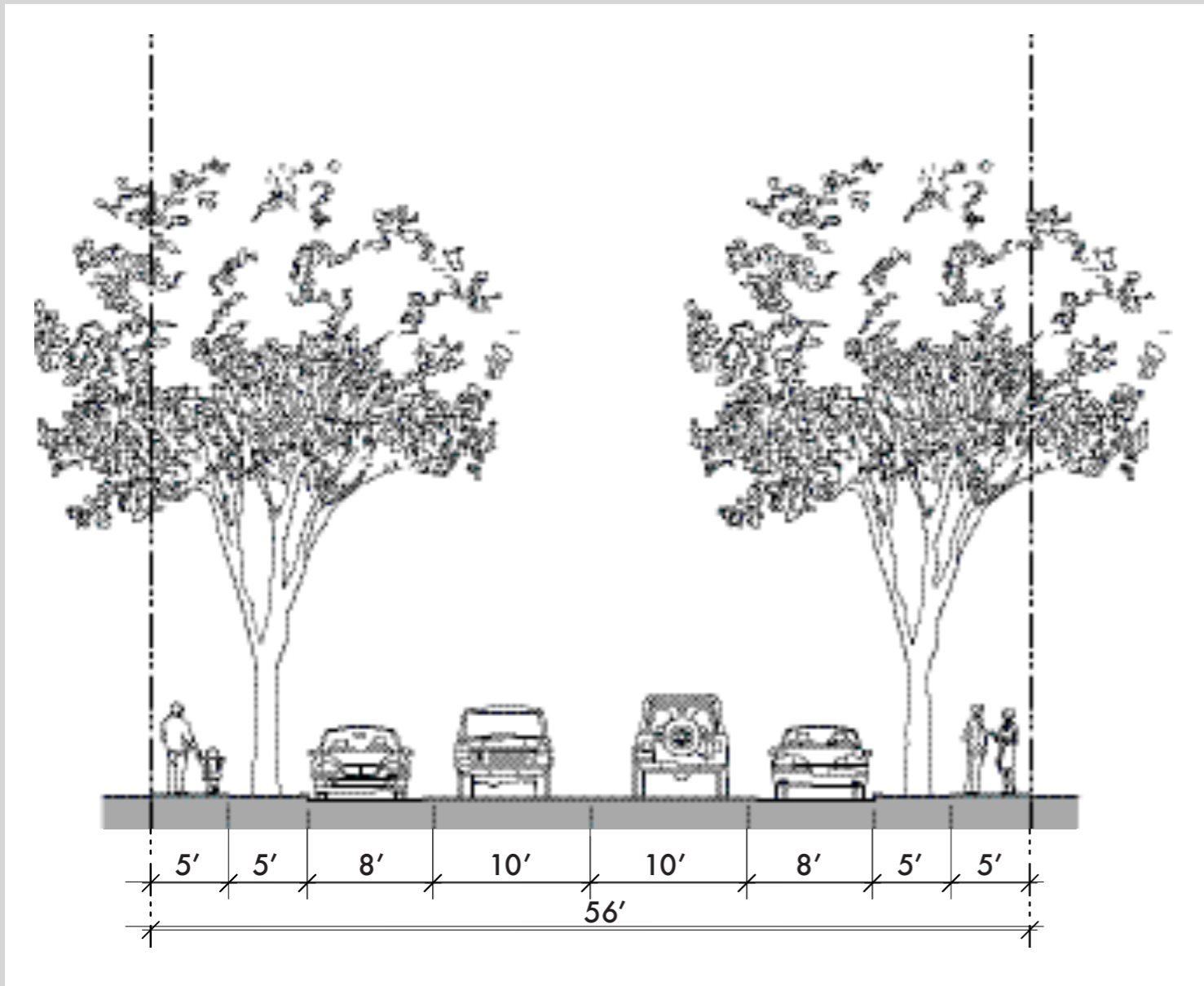# Civic Spaces

Kentlands: Gaithersburg, MD

Where kids play

T4-T5

T2-T3

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Thoroughfare Standards

Design Standards

Design Speed:	20 mph
R.O.W. Width:	56'
Width of paving:	36'
On-Street Parking:	8'
Travel Lane Width:	10'
Bicycle Lane Width:	N/A
Drainage Type:	Open
Width of Sidewalk:	5' (typical)
Sidewalk Easement:	N/A
Width of Planter:	5' (typical)
Type of Trees:	Medium
Spacing of Trees:	40'

Benicia Lower Arsenal Mixed Use Specific Plan (Opticos Design and Crawford, Multari & Clark)

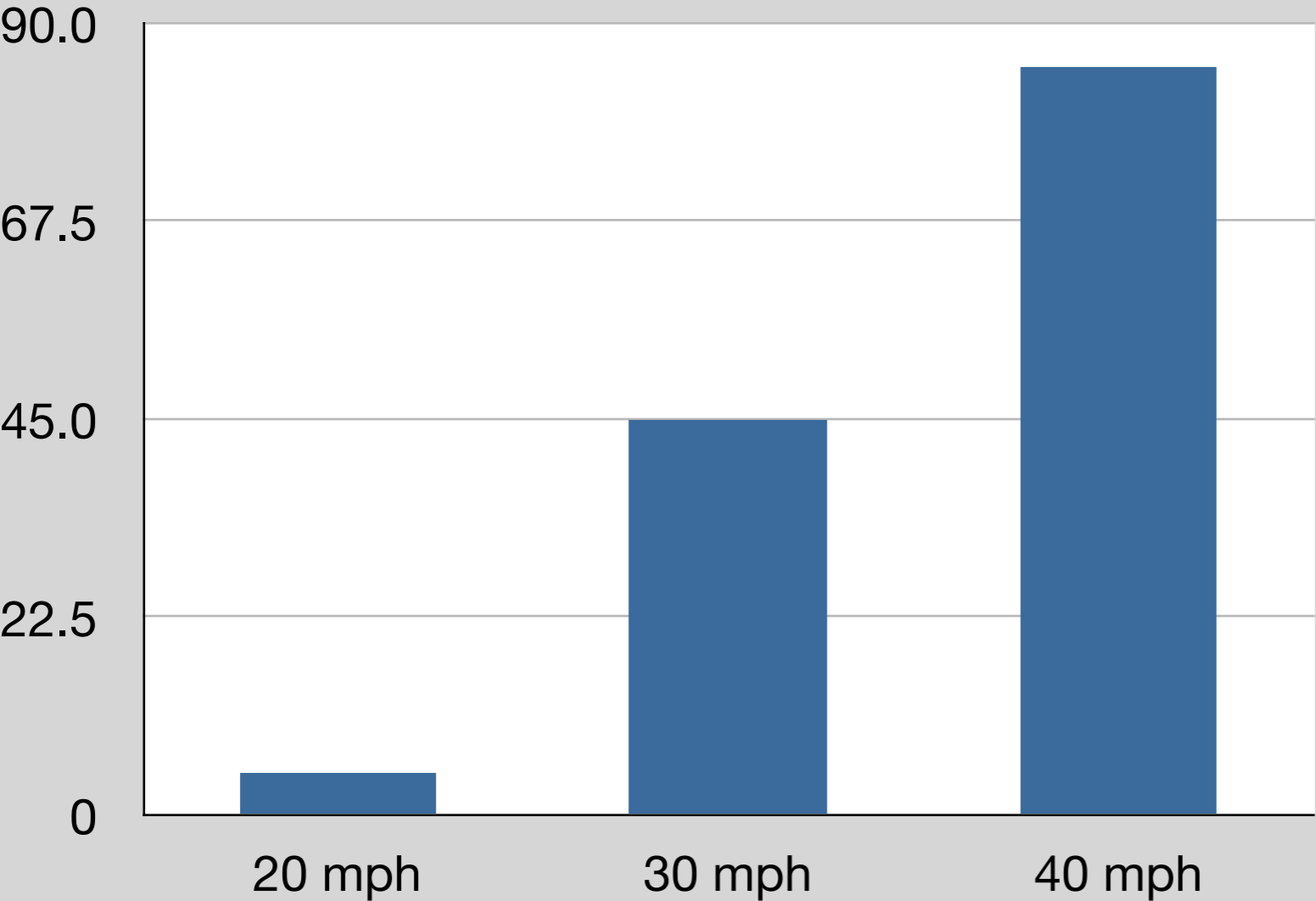# This is not a starting point for placemaking!

Classic Boulevard

| Sidewalk | Planting Strip | Parking | Access Lane | Planting Strip | Travel Lane | Travel Lane | Travel Lane | Travel Lane | Planting Strip | Access Lane | Parking | Planting Strip | Sidewalk |
| 14' | 7' | | 11' | 11' | | | 43' | | | 11' | 11' | 7' | 14' |

Typical Right-of-Way: 129'

Comfortable Street in Downtown

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Proportion of Service by Functional Classification

General Urban

Compact Urban

Arterial

Collector

Local

land access

vehicle mobility

land access

mobility for all modes
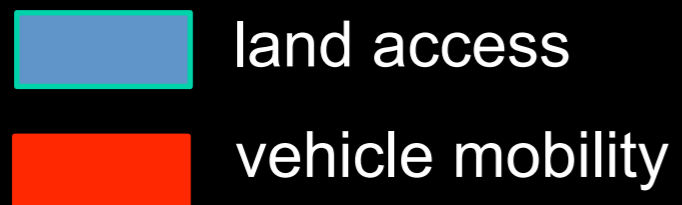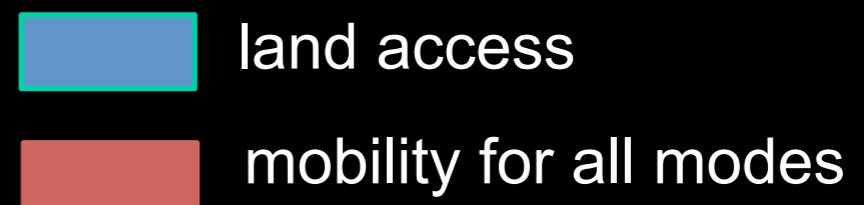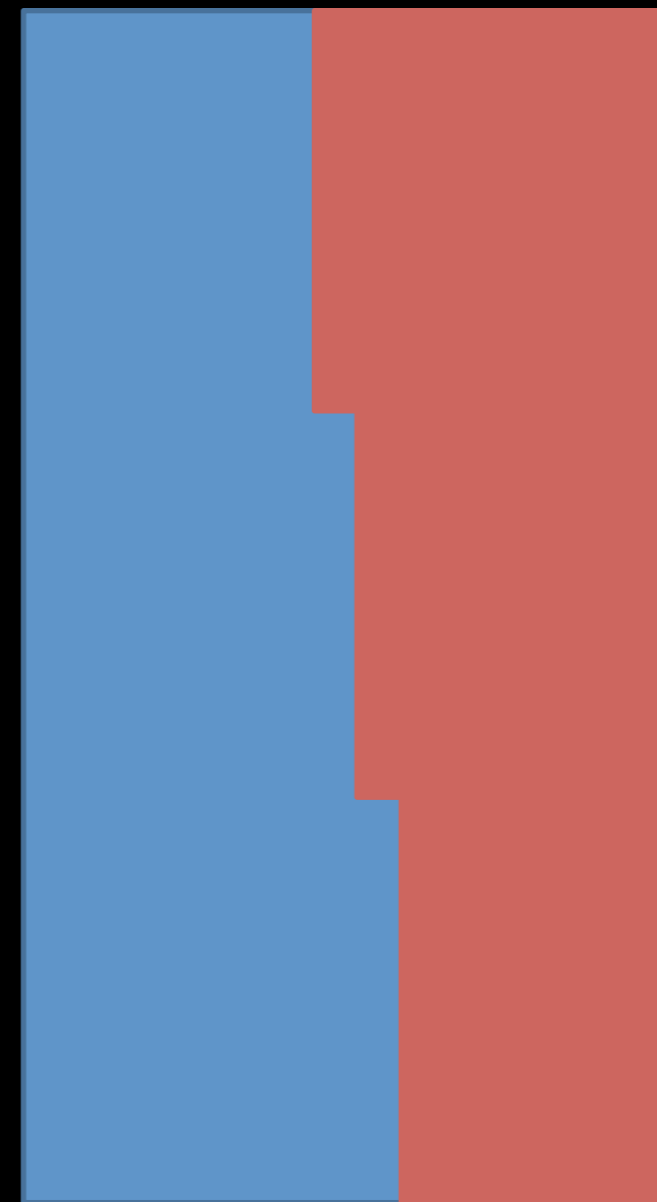
Trip Length by Functional Classification

General Urban

Compact Urban

Arterial

Collector

Local
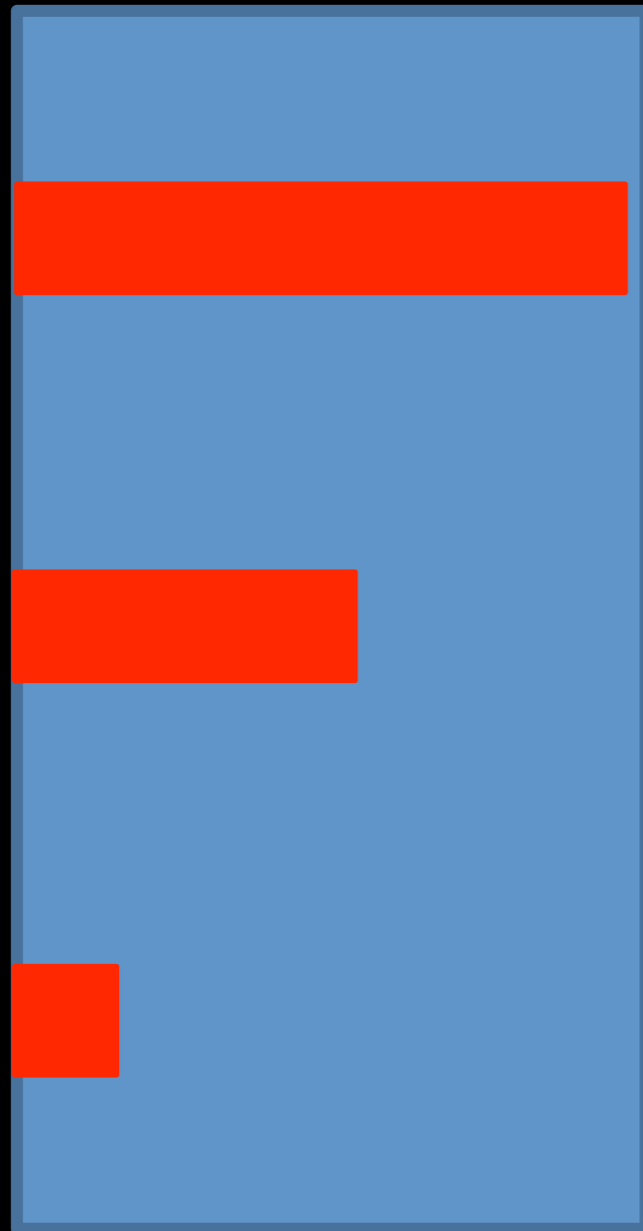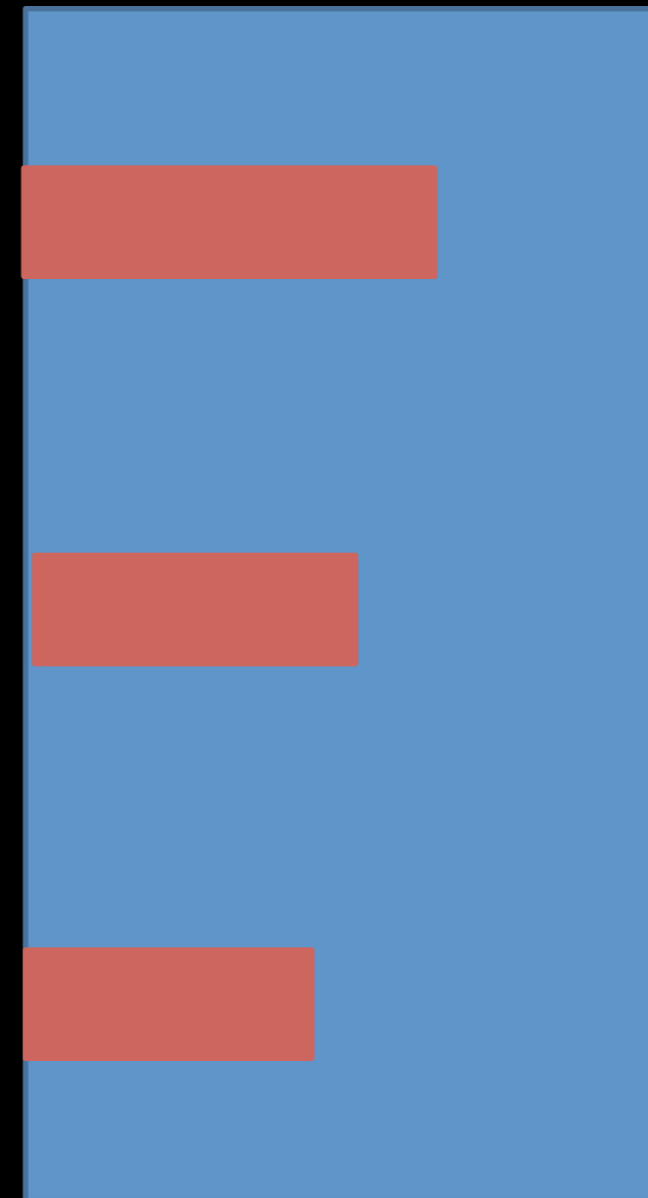
Vehicles

all modes

change over time

Frontages

Where the Public and Private Realms Meet

Mid-Block Lot

Corner Lot

Section

Single Story Gallery

Canopy
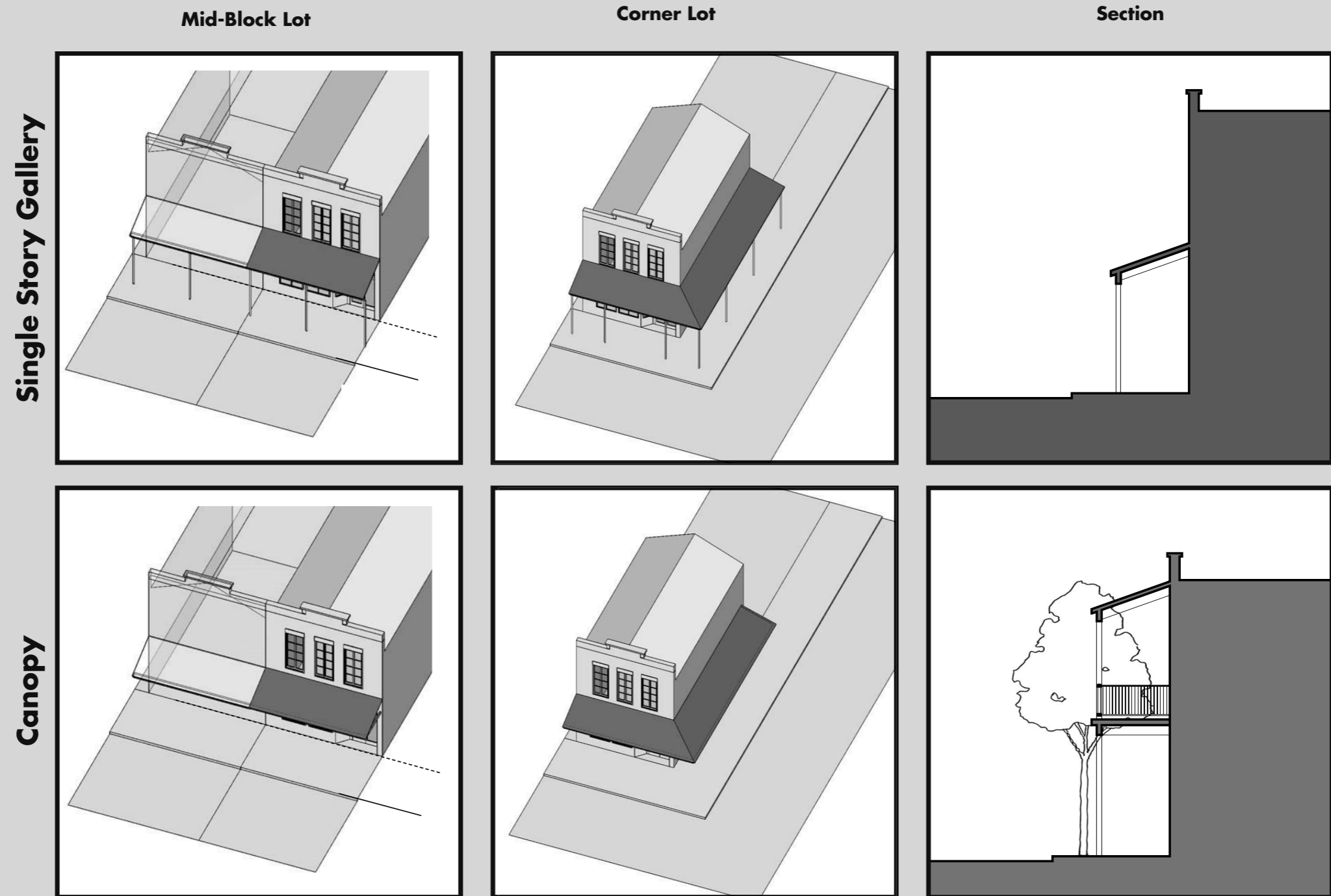
Frontages

Frontages Unique to a Place

© Keiji Iwai Photography

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Frontages Unique to a Place

Frontages

Frontages

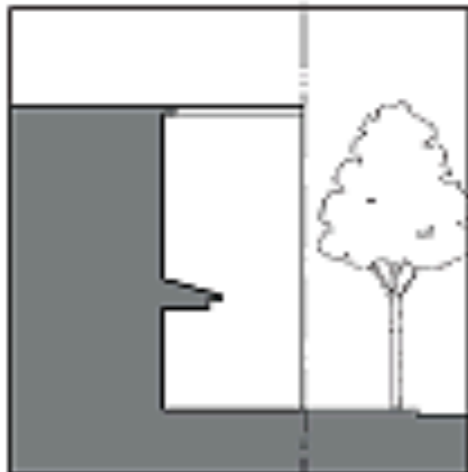**Porch:** The main facade of the building has a small setback from the frontage line. The resulting front yard is typically very small and can be defined by a fence or hedge. The porch can encroach into the setback to the point that the porch extends to the frontage line. The porch can be one or two story. A minimum depth of 6′ clear is required within the development standards to ensure usability.

   On downslope lots the setback is typically minimized to improve the developability of the lot and on upslope lots it is maximized to reduce visual impact of the building on the streetscape.

Forecourt: The main facade of the building is at or near the frontage line and a small percentage of it is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within commercial zones. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. This frontage type should be used sparingly and should not be repeated within a block. A short wall, hedge, or fence should be placed along the undefined edge .

Building Types

Commercial Block: Focal Point of Activity

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Mansion Apartment: Well-Designed Density

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Live/Work: Flexible Buildings Providing Choices

Duplexes: Reintroducing a Lost Tradition

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Townhouses: Responding to Shifting Demographics

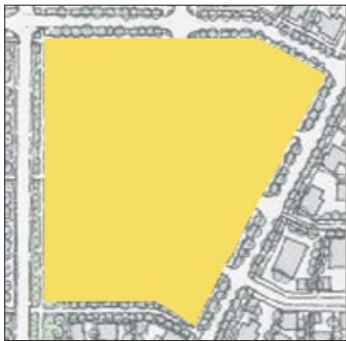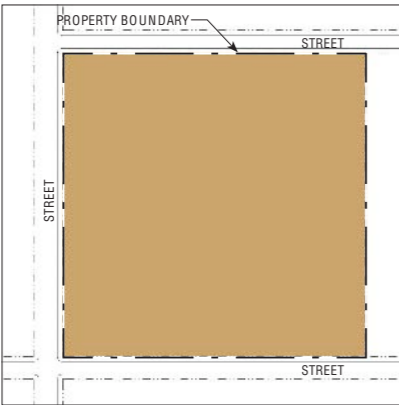# Unique to Flagstaff: Urban Sideyard House

Block and Subdivision Standards

Maximizing Connectivity
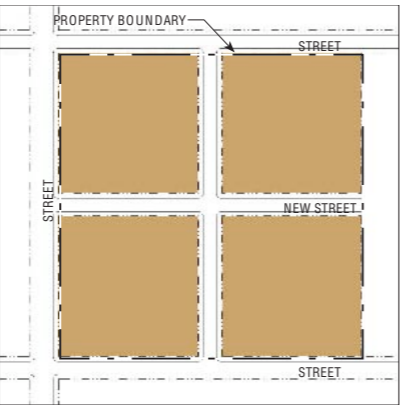
4.7.7 Procedure for Subdividing Land

A. Site

Sites larger than 2 acres shall be subdivided further to create additional blocks.
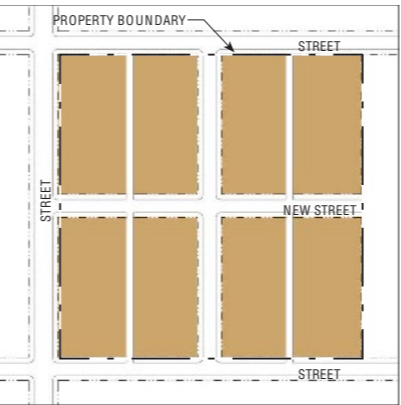
B. Introduce Streets

Sites being subdivided into additional blocks shall introduce streets from the list of existing and allowable street types and comply with the block-size requirements in section 4.6.3.
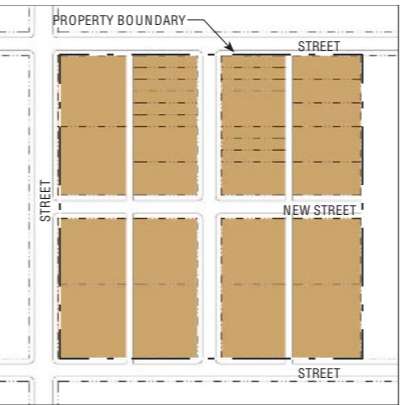
C. Introduce Alleys

Access to blocks and their individual parcels is allowed only by alley/lane, side street or, in the case of residential development, via small side drives accessing multiple dwellings. The intent is to maintain the integrity and continuity of the streetscape without interruptions such as driveway access. Therefore, although residential development allows minor interruptions along the primary frontage, the introduction of rear service thoroughfares such as alleys and lanes is required.

D. Introduce Lots

Based on the type(s) of blocks created and the thoroughfare(s) that they front, lots (parcels) are introduced on each block to correspond with the allowable building types in Section 4.4.

E. Introduce Projects

Each lot is designed to receive a building per the allowable building types identified in Section 4.4 and can be arranged to suit the particular organization of buildings desired for each particular block. The allowable building types then are combined with the allowable Frontage Types in Section 4.5 per the Zone in Section 4.3 in which the lot is located, in order to generate a particular urban form and character.

Site to be subdivided: Illustrative Diagram

Introduce Streets: Illustrative Diagram

Introduce Alleys: Illustrative Diagram

Introduce Lots: Illustrative Diagram

Introduce Projects: Illustrative Photo

Moule & Polyzoides Architects and Urbanists
For the City of Whittier, California   4.52

Uptown Whittier Specific Plan (Moule & Polyzoides)

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Administration

Predictable, clear process is the goal

CRC - Coordinated Review Committee
PZAB – Planning Zoning and Appeals Board

```
Applicant
   │
Zoning
Department ──────┬──────────────┬──────────────┬──────────────┬──────────────┐
   │             │              │              │              │              │
By Right        Waiver         Warrant        Exception      Variance       Zoning Change
   │             │              │              │              │              │
   │         Preapplication  Preapplication  Preapplication  Preapplication  Preapplication
   │             │              │              │              │              │
   │         File with       File with      File with       File with       File with
   │         Planning *      Planning *     Hearing         Hearing         Hearing
   │             │              │    CRC     Board *          Board *         Board *
   │             │              │              │    CRC        │              │
   │         Planning        Planning        Planning        Planning        Planning
   │         Director        Director        Director        Director        Director
   │                                           │              │              │
   │                                          PZAB           PZAB           PZAB
   │                                           │              │              │
   │                                                                       City
   │                                                                       Commission
   │                                                                         │
   │         Appeal         Appeal         Appeal         Appeal
   │         PZAB           PZAB           City Comm.     City Comm.
   │             │              │              │              │              │
Building     Building        Building       Building        Building        Building
Permit       Permit          Permit         Permit          Permit          Permit
```

* All applications shall include required notice

Miami 21 (DPZ)

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Optional Components:

- Architectural standards

- Green building standards

- Landscape standards

- Affordable housing requirements

- Stormwater management

- Alternative energy

- Food production

Form-Based Code defines this

This is the architecture

Code Resources

Resources:
"Form-Based Codes"

Form-Based Code Institute
www.formbasedcodes.org
Webinar: May 22nd.

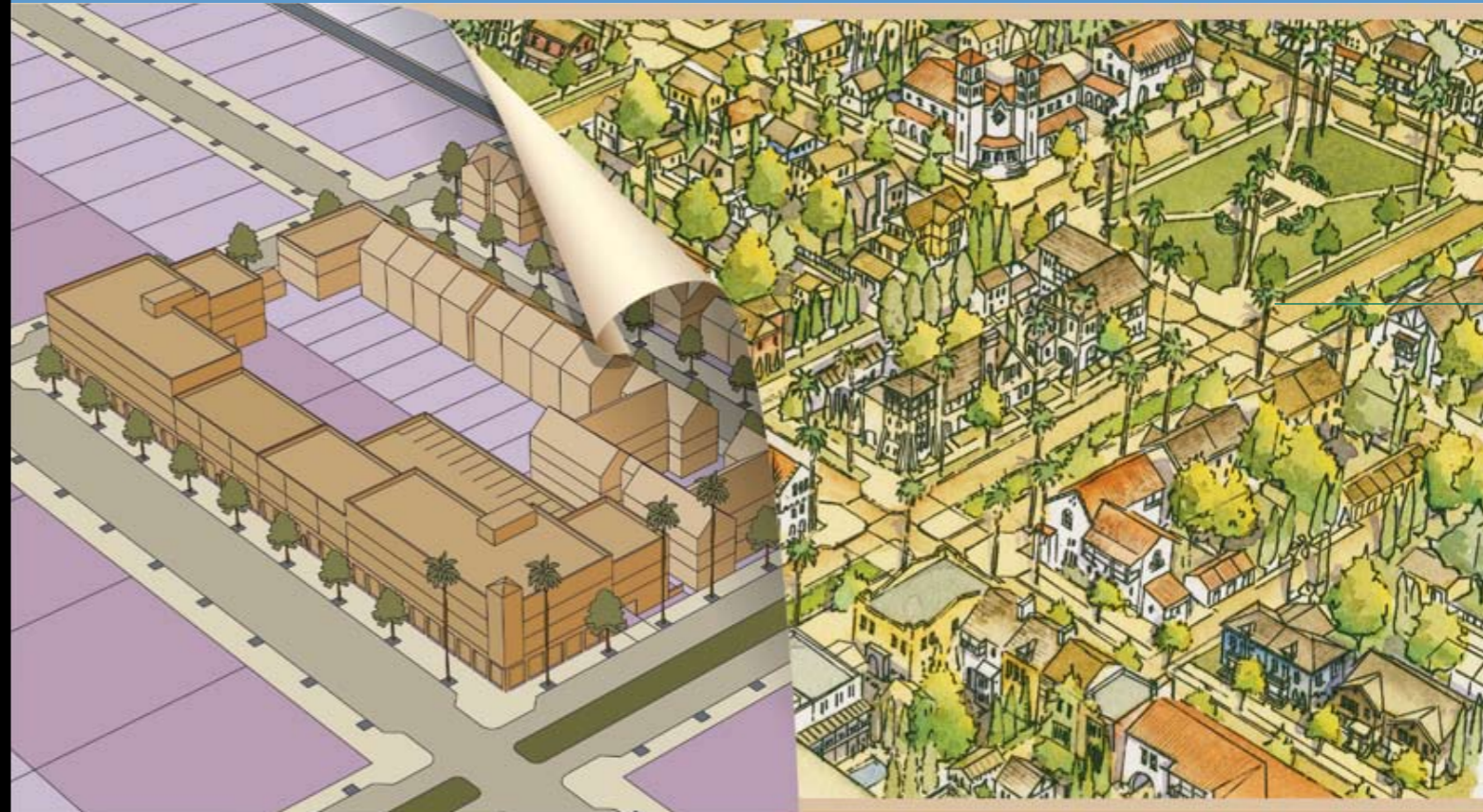Opticos' FBCs
www.opticosdesign.com

Smart Code and Transect
www.smartcodecentral.com

Congress for New Urbanism
Form-Based Code Track
Denver: June 10-14th
www.cnu.org

OPTICOS

Form-Based Codes

A Guide for Planners, Urban Designers,
Municipalities, and Developers

Daniel G. Parolek, AIA • Karen Parolek • Paul C. Crawford, FAICP

Forewords by Elizabeth Plater-Zyberk and Stefanos Polyzoides

Calendar & Timing
charting the path to a sustainable framework
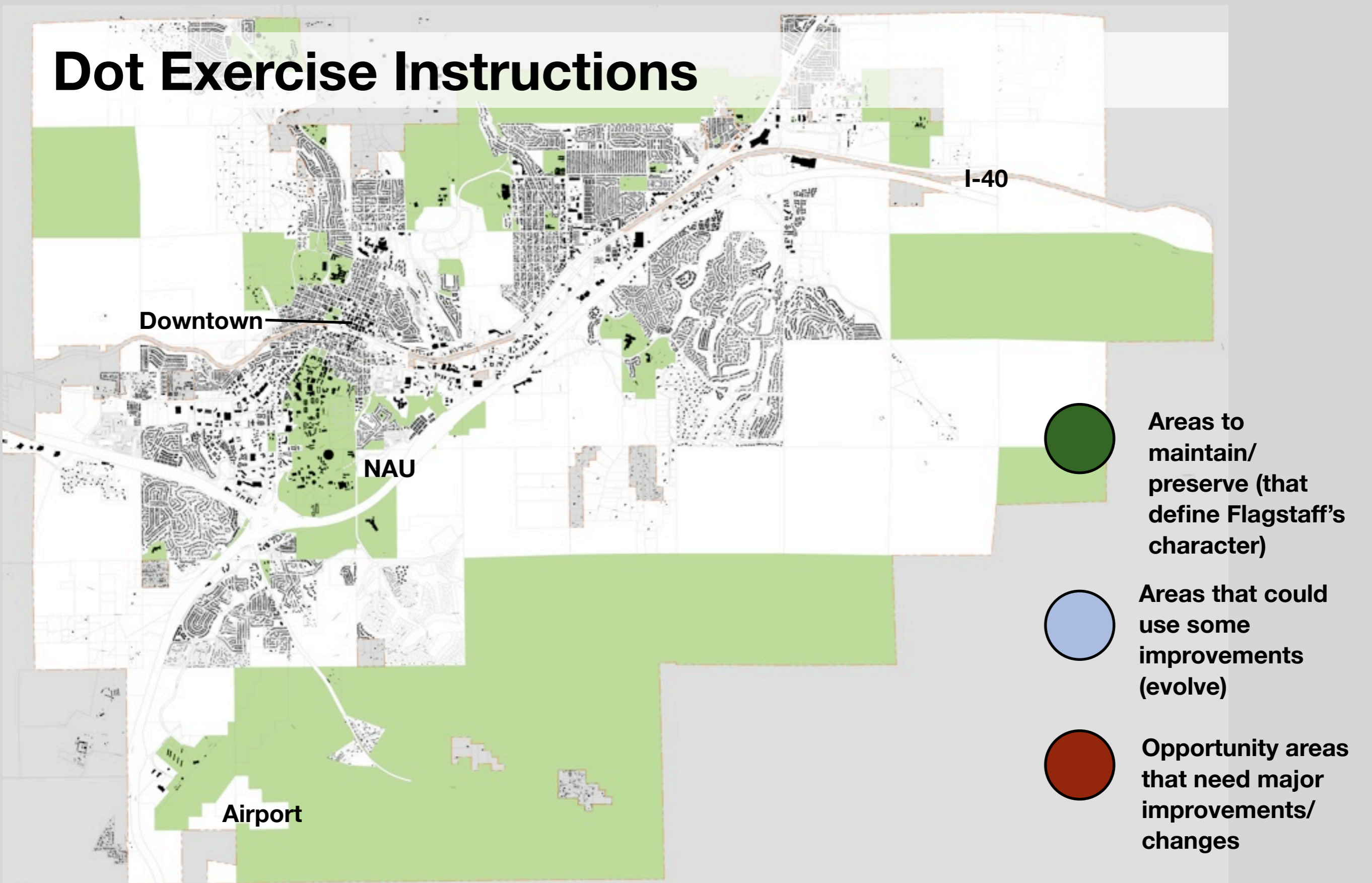
© Keiji Iwai

City of Flagstaff
Zoning Code Update and Form-Based Code | Kick-Off Workshop

General Schedule

1. **May 6 - 8:** Kick off Workshop & stakeholder interviews
2. **Early July:** Presentation of analysis
3. **Late September/Early October:** Focus area 4-day design charrette
4. **Mid-November:** Charrette summary document and draft code components presentation
5. **Mid-January:** Further draft code components
6. **May 2010:** Complete public review draft

Code Resources

OPTICOS

Resources:
"Form-Based Codes"

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Form-Based Codes
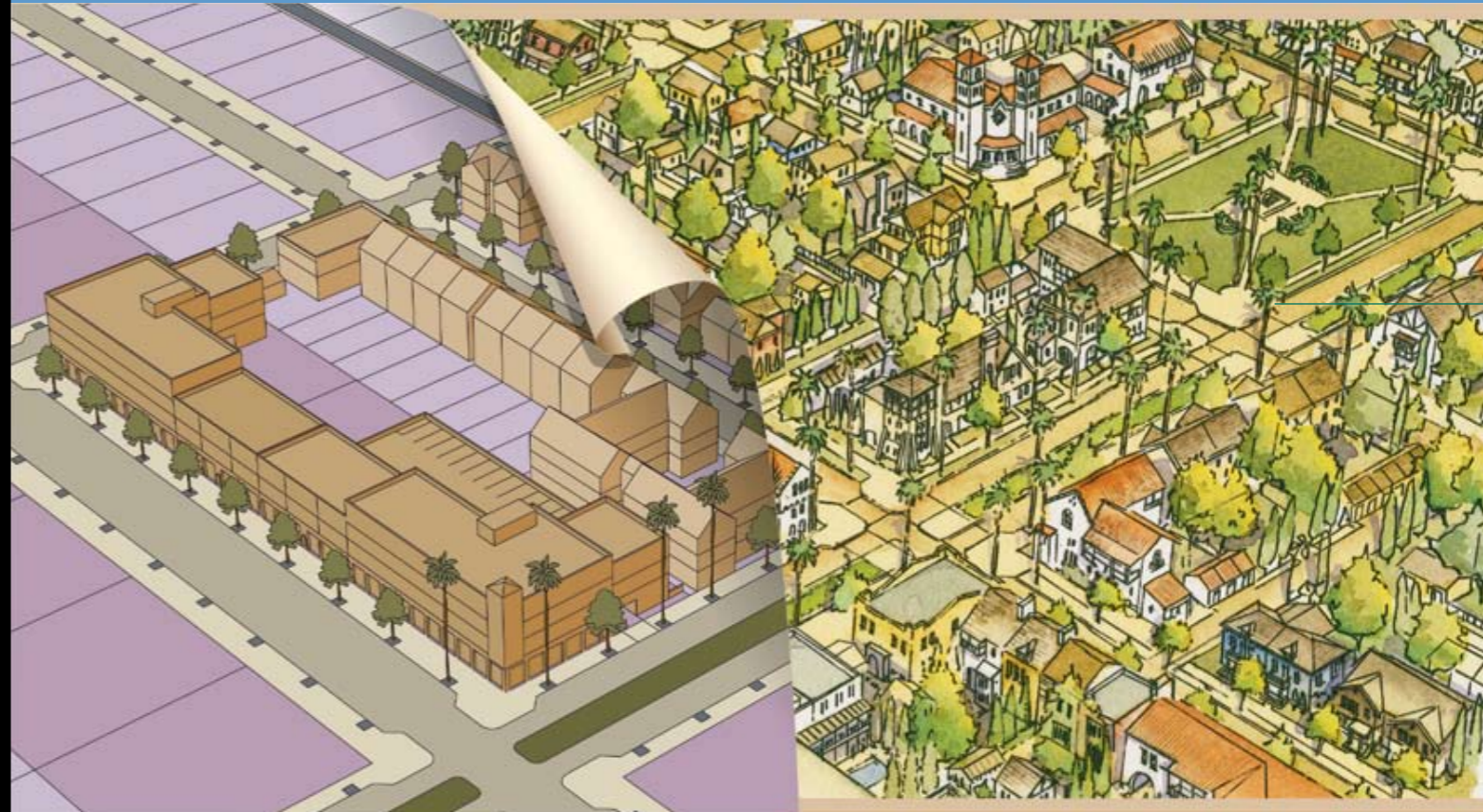
A Guide for Planners, Urban Designers, Municipalities, and Developers

Daniel G. Parolek, AIA • Karen Parolek • Paul C. Crawford, FAICP

Forewords by Elizabeth Plater-Zyberk and Stefanos Polyzoides

Dot Exercise
instructions

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Dot Exercise Instructions

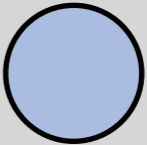I-40

Downtown

NAU

Airport

● Areas to maintain/ preserve (that define Flagstaff's character)

● Areas that could use some improvements (evolve)

● Opportunity areas that need major improvements/ changes

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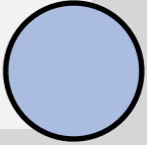Step I: Add Dots

Dot Exercise
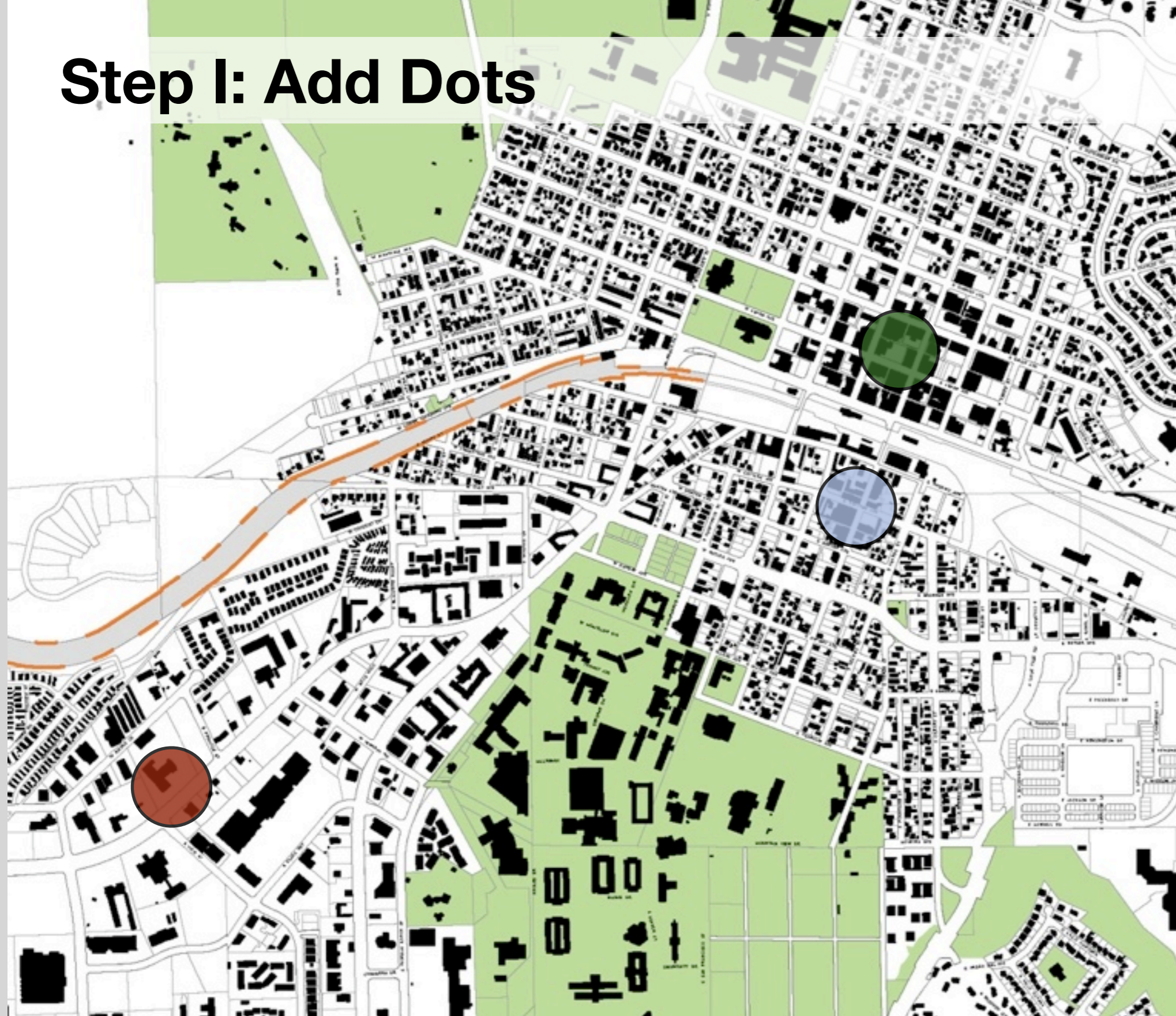
- 🟢 Areas to maintain/ preserve (that define Flagstaff's character)

- 🔵 Areas that could use some improvements (evolve)

- 🔴 Opportunity areas that need major improvements/ changes

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Step 2: Make Notes

Dot Exercise

Downtown

Infill opportunity

Old car dealerships

- ● Areas to maintain/ preserve (that define Flagstaff's character)

- ● Areas that could use some improvements (evolve)

- ● Opportunity areas that need major improvements/ changes

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